

AGENDA
CITY OF THE COLONY
PLANNING AND ZONING COMMISSION
JULY 28, 2015

After determining that a quorum is present, the Planning and Zoning Commission of the City of The Colony, Texas will convene into regular session which will be held on Tuesday, July 28, 2015 at 6:30 PM in the City Council Chambers located in City Hall, 6800 Main Street, The Colony, Texas, at which time the following items will be addressed:

1.0	CALL REGULAR SESSION TO ORDER
1.1	Citizen Input

2.0	CONSENT AGENDA
2.1	Consider approval of the minutes of the July 14, 2015 Regular Session.
2.2	<i>FP15-0009 Lot 6, Block A, Colony Center Addition Final Plat</i> Consider approval of a Final Plat for Lot 6, Block A, Colony Center Addition, being 1.9621 acres out of the B.B.B. & C.R.R. Survey, Abstract No. 174, an addition to the City of The Colony, Denton County, Texas, located on the southwest corner of Memorial Drive and S Colony Boulevard, in Planned Development 16 (PD-16) zoning district.
2.3	<i>RP15-0003 Boathouse Retail Replat</i> Consider approval of a Final Plat for Lot 6R, Block C, Parks of Austin Ranch Addition, a Replat of Lot 6, Block C, Parks of Austin Ranch Addition, being 3.679 acres out of David Andrews Survey, Abstract No. 18, an addition to the City of The Colony, Denton County, Texas, located on the southwest corner of Windhaven and Plano Parkway, in Planned Development 22 (PD-22) zoning district.
2.4	<i>RP15-0004 Parkway Parcels Replat</i> Discuss and consider approval of a replat for Lots 4R and 5, Block A, Parkway Parcels Addition, being a replat of Lot 4, Block A Parkway Parcels Addition, 1.873 acres of land recorded in County Clerk's Inst. No. 2015-97, official public records of Denton County an addition to the City of The Colony, Denton County, Texas, located near the southwest corner of Plano Parkway and SH 121, in Planned Development 25 (PD-25) zoning district.

3.0	PUBLIC HEARING ITEMS
3.1	<i>SUP15-0008, Colony Center Specific Use Permit</i> Conduct a public hearing, discuss and consider making a recommendation to the City Council on a request for a Specific Use Permit (SUP) to allow the use of an alternate exterior material for the Colony Center, a retail center located at the Northwest Corner of SH 121 and South Colony Boulevard within the PD-16 zoning district.

4.0	DISCUSSION ITEMS
4.1	<i>SP15-0010, Colony Center Development Plan</i> Discuss and consider making a recommendation to the City Council on a request for a Development Plan for the Colony Center Addition, a retail center located at the Northwest Corner of SH 121 and South Colony Boulevard within the PD-16 zoning district.
4.2	<i>SP15-0011 Service King Site Plan</i> Discuss and consider making a recommendation to City Council on a request for Site Plan for Service King, an automobile body shop, located on Memorial Drive, west of Budget Suites, north of existing the Firestone Tire and Vehicle Service Center located in the Business Park (BP) zoning district.

4.3 ***SP15-0013 Modern Round Site Plan***

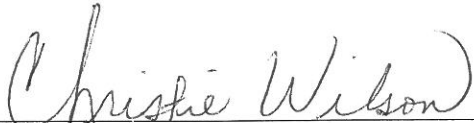
Discuss and consider making a recommendation to City Council on a request for Site Plan for Modern Round, an indoor entertainment facility that will house a restaurant and an indoor virtual shooting gallery, located between Memorial Drive and SH 121, west of Firestone, East of Top Golf located in the Business Park (BP) zoning district.

“Pursuant to the Texas Open Meetings Act, Government Code Chapter 551, one or more of the above items may be considered in executive session closed to the public. Any decision held on such matter will be taken or conducted in open session following the conclusion of the executive session”.

Persons with disabilities who plan to attend this meeting who may need auxiliary aids such as interpreters for persons who are deaf or hearing impaired, readers or, large print are requested to contact Christie Wilson, City Secretary, at 972-624-3106 at least two (2) working days prior to the meeting so that appropriate arrangements can be made.

CERTIFICATION

I hereby certify that above notice of meeting was posted outside the front door of City Hall by 5:00 p.m. on the 24th day of July 2015.


Christie Wilson, City Secretary



**MINUTES
CITY OF THE COLONY
PLANNING AND ZONING COMMISSION
JULY 14, 2015**

After determining that a quorum was present, the Planning and Zoning Commission of the City of The Colony, Texas convened into Regular Session which was held on Tuesday, June 14, 2015 at 6:30 PM in the City Council Chambers located in City Hall, 6800 Main Street, The Colony, Texas, at which time the following items were addressed:

Board Members Present: Karen Hames, Chairman, Detrick DeBurr, Vice Chairman, Brian Buffington, Shawn Rockenbaugh, Cesar Molina Jr., Janece Pool, and Shannon Hebb.

Board Members Absent: None

Staff Present: Mike Joyce, AICP, Planning Director, Joe Perez, Program Administrator, Surupa Sen, AICP, Senior Planner, Roy Castro Chief Building Official, and Brian McNulty, Technical Assistant.

1.0	CALL REGULAR SESSION TO ORDER
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Chairman Hames called the meeting to order at 6:30 p.m.

1.1	CITIZEN INPUT
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No citizens came forward during Citizen Input.

1.2	Oath of Office for new Commissioner.
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City Secretary, Christie Wilson administered the Oath of Office for new and reappointed Commissioners. Commissioner Shawn Rockenbaugh, Detrick DeBurr, Cesar Molina, and Janece Pool were sworn in.

1.3	Election of Chair and Vice Chair for the Commission.
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Commissioner Molina moved to elect Karen Hames as the Chairman of the Commission seconded by Commissioner DeBurr. Motion carried (7-0).

Chairman Hames moved to elect Detrick DeBurr as the Vice-Chairman of the Commission seconded by Commissioner Molina. Motion carried (7-0)

2.0	CONSENT AGENDA
2.1	Consider approval of the minutes of the June 9, 2015 Regular Session.
2.2	<i>PP15-0001, Colony Center Addition Preliminary Plat</i> Discuss and consider approval of a Preliminary Plat for Lots 1-8, Block A, Colony Center Addition, being 45.1137 acres out of the B.B.B. & C.R.R. Survey, Abstract No. 173 & 174, an addition to the City of The Colony, Denton County, Texas.
2.3	<i>FP15-0005, Westbury at Tribute, Phase 1A Final Plat</i> Discuss and consider a Final Plat for Lots 13-23, Block T, Westbury at Tribute Phase 1A, being 1.641 acres out of the B.B.B. & C.R.R. Survey, Abstract No. 182, an addition to the City of The Colony, Denton County, Texas.

Chairman Hames read the Consent Agenda item into the record and stated there are few changes to the minutes that have been turned in to the secretary.

Commissioner DeBurr moved to approve Item 2.1, 2.2, 2.3 Commissioner Buffington seconded the motion. Motion carried (7-0).

3.0	PUBLIC HEARING ITEMS
3.1	<i>SI15-0012 Zoning Ordinance Text Amendment - Swimming Pool Demolition</i> Conduct a public hearing, discuss and consider making a recommendation to City Council on an amendment to the Code of Ordinances, Appendix A, Section 10B-1100, entitled "Standards for Swimming Pools and Hot Tubs," by adding a new subsection (i) to address the demolition of swimming pools and hot tubs.

Chairman Hames read Public Hearing Item 3.1 into the record.

Mr. Joe Perez presented the staff report.

Commissioner DeBurr asked when the compaction report will be required.

Mr. Perez responded that compaction reports are pretty expensive and the ordinance provides flexibility as to when they will be required. The Building Official will make that call when a demolition permit is submitted.

Commissioner Molina asked if the ordinance requires removal of concrete or how is that determined.

Mr. Perez responded they will have both the options to either leave the concrete or remove it.

Mr. Castro approached the Commission and stated that the applicant has two options. They may either demo the pool, remove all the concrete or they can backfill with approved material.

Commissioner Hebb stated that the City should require backfill 8" lifts, reserve the top 4" for top soil to permit growth of grass or other vegetation, remove 2' of the pool structure, 95% of standard proctor to be utilized.

Chairman Hames opened the public hearing at 6:51 p.m.

No input was received during the public hearing and the public hearing was closed at 6:51 p.m.

There being no further discussion Chairman Hames called for called for a motion from the Commission.

Commissioner Hebb moved to approve Item 3.1. with the following stipulation

- 1. 4" top soil**
- 2. Remove 24" of the top of the pool structure**

- 3. Filter in place in 8" lifts to reach required compaction**
- 4. Density be 95% standards proctor**

Commissioner Buffington seconded the motion. Motion carried (7-0).

There being no further business to come before the Commission, Chairman Hames adjourned the Regular Session of the Planning and Zoning Commission at 6: 52 p.m.

Karen Hames, Chairman

Surupa Sen, AICP Senior Planner

PLANNING AND ZONING COMMISSION REPORT

AGENDA DATE: July 28, 2015

DEPARTMENT: Development Services Department

PLANNER: Surupa Sen, AICP, Senior Planner, 972-624-3164

SUBJECT: *FP15-0009 Lot 6, Block A, Colony Center Addition Final Plat*

Consider approval of a Final Plat for Lot 6, Block A, Colony Center Addition, being 1.9621 acres out of the B.B.B. & C.R.R. Survey, Abstract No. 174, an addition to the City of The Colony, Denton County, Texas, located on the southwest corner of Memorial Drive and S Colony Boulevard, in Planned Development 16 (PD-16) zoning district.

APPLICANT

Owner/Developer:	Colony 5 Partners LLC	Atlanta, Georgia
Engineer/Surveyor:	Cates-Clark & Associates LLP	Dallas, Texas

EXISTING CONDITION OF PROPERTY

The subject property is currently undeveloped.

PROPOSED DEVELOPMENT

Lot 6 is part of the 8 lot Colony Center Addition subdivision. A Corner Store convenience store is proposed for development on Lot 6.

ADJACENT ZONING

North - Planned Development District (PD-14) – The Legends Single Family subdivision
South - Planned Development District (PD-16) – Vacant land
East- Planned Development District (PD-16) – Avana Stonebriar Apartments, Village at 121
West- Planned Development District (PD-16) – Vacant land

PLAT DETAILS

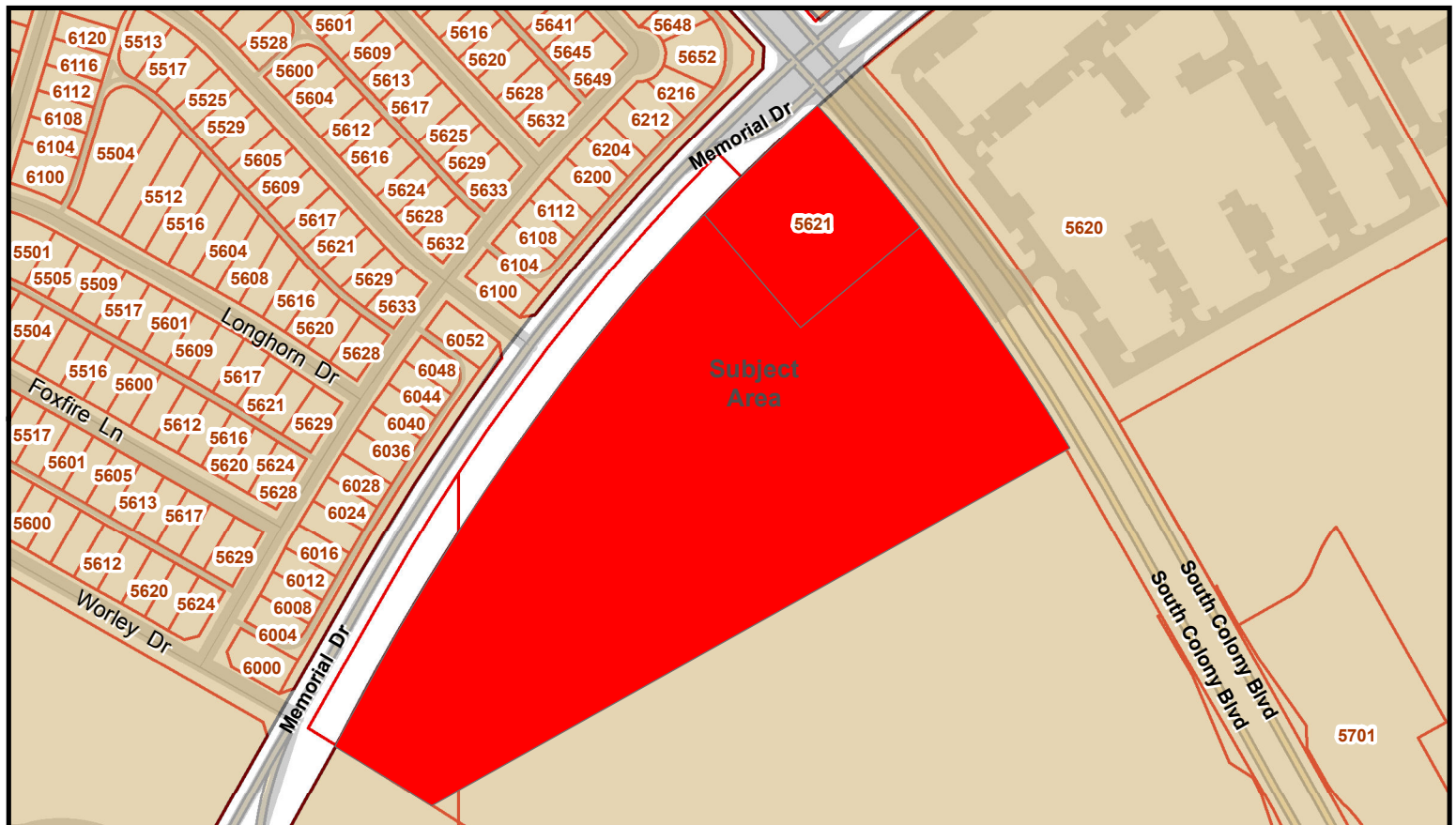
The subject property is located on the southwest corner of Memorial Drive and South Colony Boulevard and is zoned Planned Development 16 (PD-16). The lot is accessed through South Colony Boulevard and Memorial Drive. The Final Plat meets, Appendix B, Subdivision Ordinance of The Colony Code of Ordinances, PD 16 Ordinance and other applicable ordinance requirements.

RECOMMENDATION

The Development Review Committee (DRC) recommends approval of the Final Plat.

ATTACHMENTS

1. Location Map
2. Proposed Final Plat



Project No. FP15-0009 - Project Name: Lot 6, Blk A, Colony Center Addition

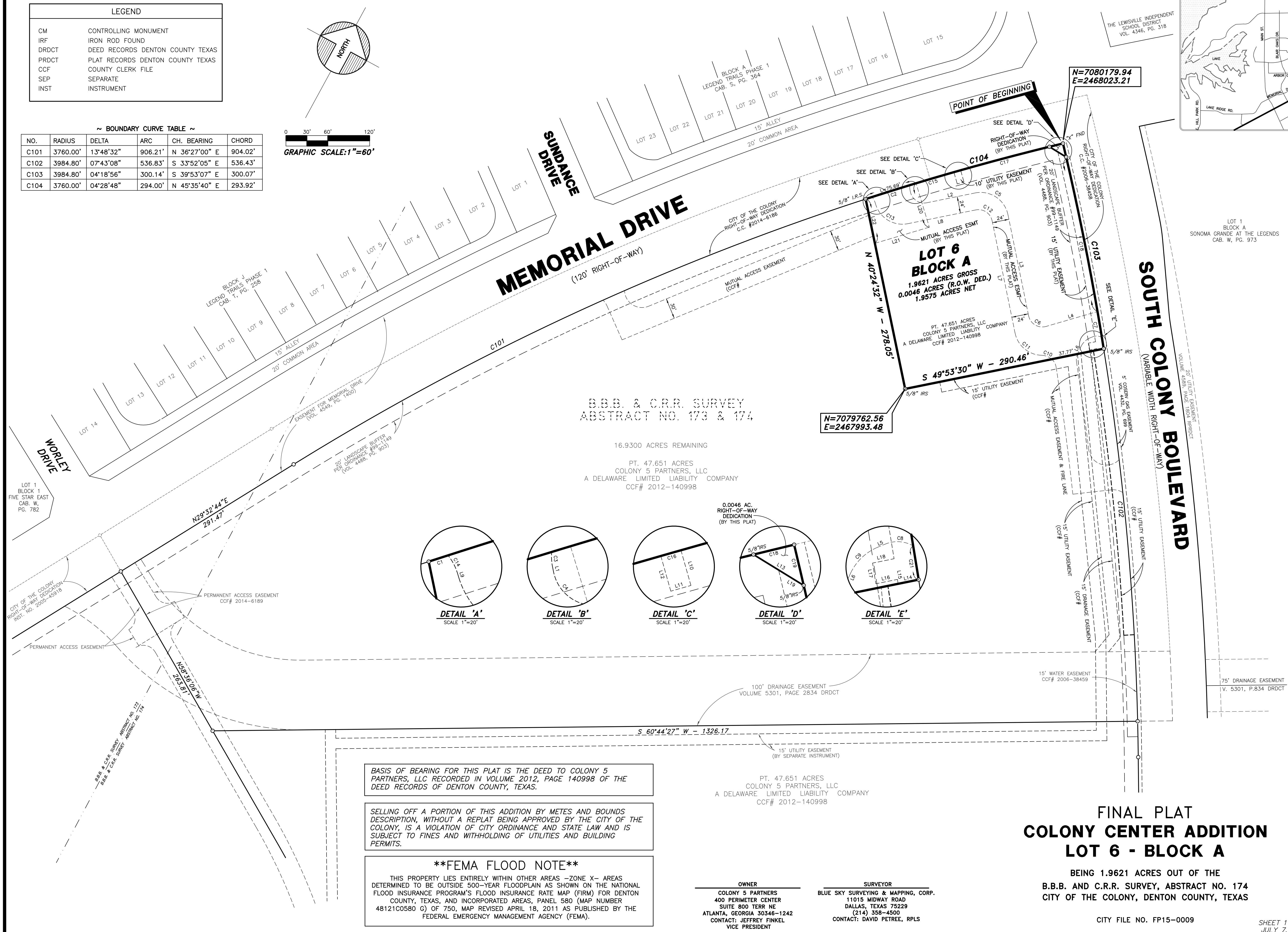
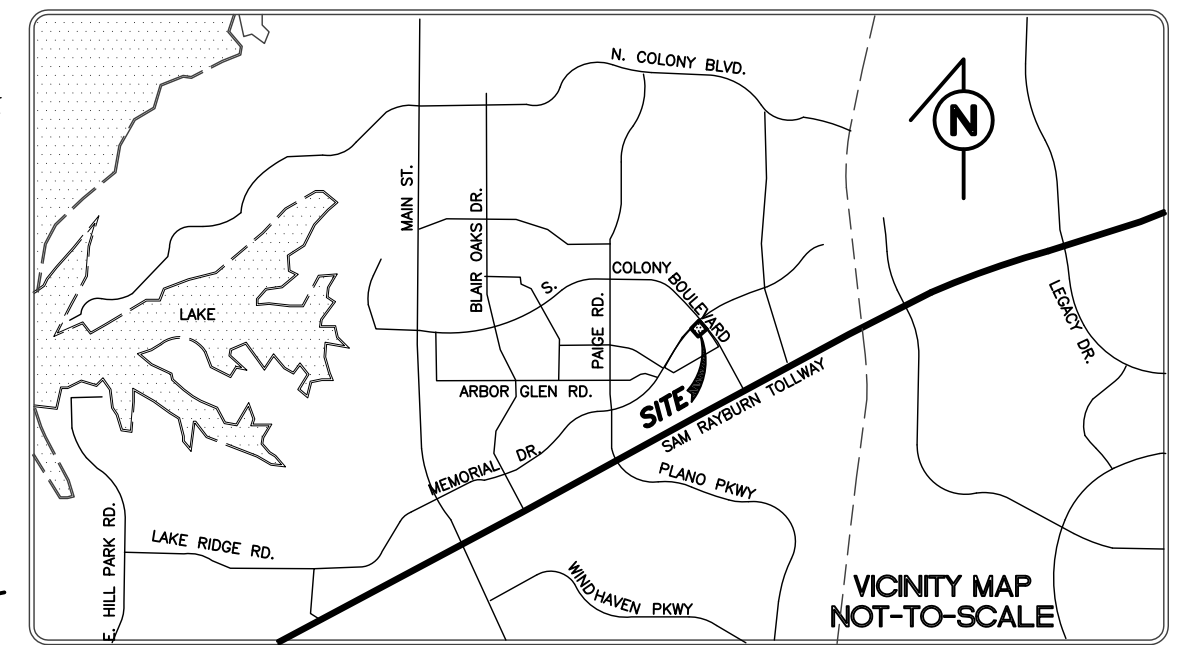
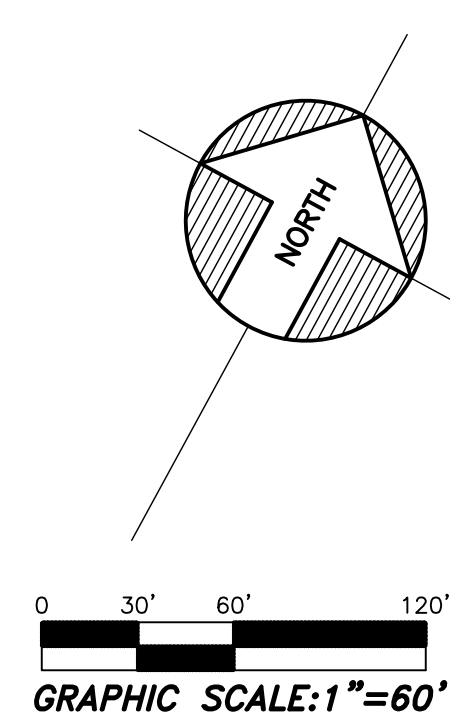


■ Lot 6, Blk A Colony Center Addition	■ Business Park/Industrial	■ Heavy Commercial	■ Mobile Home	■ Planned Development
■ Agricultural	■ Duplex Dwelling	■ Industrial	■ Neighborhood Service	■ Shopping Center
■ Business Park	■ General Retail	■ Light Commercial	■ Office District 1	■ Single Family Dwelling

This map was generated by GIS data provided by The Colony GIS Department. The City of The Colony does not guarantee the correctness or accuracy of any features on this map. These digital products are for illustration purposes only and are not suitable for site-specific decision making.



~ BOUNDARY CURVE TABLE ~					
NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
C101	3760.00'	1'34'48"32"	906.21'	N 36°27'00" E	904.02'
C102	3984.80'	0°74'3"08"	536.83'	S 33°52'05" E	536.43'
C103	3984.80'	0'41'18"56"	300.14'	S 39°53'07" E	300.07'
C104	3760.00'	0°42'28'48"	294.00'	N 45°35'40" E	293.92'



SHEET 1 OF 2
JULY 7, 2015

OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF DENTON

WHEREAS, COLONY 5 PARTNERS, LLC, A DELAWARE LIMITED LIABILITY COMPANY IS THE OWNER OF ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND COMPRISING 1.9621 ACRES OF LAND SITUATED IN THE B.B.B. & C.R.R. SURVEY, ABSTRACT NO. 174, CITY OF THE COLONY, DENTON COUNTY, TEXAS AND BEING A PART OF THE 47.651 ACRE TRACT CONVEYED TO COLONY 5 PARTNERS, LLC, A DELAWARE LIMITED LIABILITY COMPANY BY DEED AS RECORDED IN DOCUMENT NUMBER 2012-140998 OF THE DEED RECORDS OF DENTON COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN "X" FOUND IN CONCRETE FOR THE INTERSECTION OF THE SOUTHWEST RIGHT-OF-WAY LINE OF SOUTH COLONY BOULEVARD (100 FOOT RIGHT-OF-WAY AT THIS POINT) AND THE SOUTHEAST RIGHT-OF-WAY LINE OF MEMORIAL DRIVE (120 FOOT RIGHT-OF-WAY AT THIS POINT), SAME BEING THE MOST NORTHERLY CORNER OF SAID COLONY 5 PARTNERS, LLC 47.651 ACRE TRACT AND ALSO BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A RADIUS OF 3984.80 FEET WITH A CENTRAL ANGLE OF 04° 18' 56" AND A CHORD BEARING SOUTH 39° 53' 07" EAST AT A DISTANCE OF 300.07 FEET;

THENCE SOUTHEASTERLY AND FOLLOWING ALONG SAID CURVE TO THE RIGHT AND ALONG THE SOUTHWEST RIGHT-OF-WAY LINE OF SAID SOUTH COLONY BOULEVARD FOR AN ARC DISTANCE OF 300.14 FEET TO A POINT FOR CORNER;

THENCE SOUTH 49° 53' 30" WEST AND DEPARTING SAID RIGHT-OF-WAY LINE OF SOUTH COLONY BOULEVARD FOR A DISTANCE OF 290.46 FEET TO A POINT FOR CORNER;

THENCE NORTH 40° 24' 32" WEST FOR A DISTANCE OF 278.05 FEET TO A POINT FOR CORNER, SAID CORNER BEING ON THE SOUTHEAST RIGHT-OF-WAY LINE OF MEMORIAL DRIVE AND ALSO BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A RADIUS OF 3760.00 FEET WITH A CENTRAL ANGLE OF 04° 28' 48" AND A CHORD BEARING NORTH 45° 35' 40" EAST AT A DISTANCE OF 293.92 FEET;

THENCE NORTHEASTERLY AND FOLLOWING ALONG SAID CURVE TO THE RIGHT AND ALONG THE SOUTHEAST RIGHT-OF-WAY LINE OF MEMORIAL DRIVE FOR AN ARC DISTANCE OF 294.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 1.9621 ACRES OF LAND, MORE OR LESS.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, COLONY 5 PARTNERS, LLC, DOES HEREBY ADOPT THE HEREIN DESCRIBED PROPERTY AS LOT 1, BLOCK A, THE COLONY VALERO ADDITION, AN ADDITION TO THE CITY OF THE COLONY, DENTON COUNTY, TEXAS AND DOES DEDICATE TO THE PUBLIC'S USE FOREVER THE RIGHTS-OF-WAY AND EASEMENTS SHOWN HEREON.

COLONY 5 PARTNERS, LLC,
A DELAWARE LIMITED LIABILITY COMPANY

JEFFREY H. FINKEL
VICE PRESIDENT

DATE

STATE OF _____
COUNTY OF _____

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JEFFREY H. FINKEL, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE OR SHE EXECUTED THE SAME FOR THE PURPOSE STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____DAY OF _____, 2015.

NOTARY PUBLIC, _____ COUNTY, _____

MY COMMISSION EXPIRES:_____

BASIS OF BEARING FOR THIS PLAT IS THE DEED TO COLONY 5 PARTNERS, LLC RECORDED IN VOLUME 2012, PAGE 140998 OF THE DEED RECORDS OF DENTON COUNTY, TEXAS.

SELLING OFF A PORTION OF THIS ADDITION BY METES AND BOUNDS DESCRIPTION, WITHOUT A REPLAT BEING APPROVED BY THE CITY OF THE COLONY, IS A VIOLATION OF CITY ORDINANCE AND STATE LAW AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.

SURVEYOR'S CERTIFICATE

THAT I, DAVID PETREE, A REGISTERED PROFESSIONAL LAND SURVEYOR OF THE STATE OF TEXAS, DO HEREBY CERTIFY THAT I HAVE PREPARED THIS PLAT FROM AN ACTUAL SURVEY OF LAND, AND THAT ALL THE CORNER MONUMENTS SHOWN HEREON SHALL BE PROPERLY MARKED ON THE GROUND, AND THAT THIS PLAT CORRECTLY REPRESENTS THAT SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION AND IS IN ACCORDANCE WITH THE PLATTING RULES AND REGULATIONS OF THE CITY OF FORT WORTH, TARRANT COUNTY, TEXAS.

SIGNED THIS _____ DAY OF _____, 2015.

DAVID PETREE
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 3717

STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED DAVID PETREE, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE OR SHE EXECUTED THE SAME FOR THE PURPOSE STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 2015.

NOTARY PUBLIC, DALLAS COUNTY, TEXAS

CITY SIGNATURE BLOCK

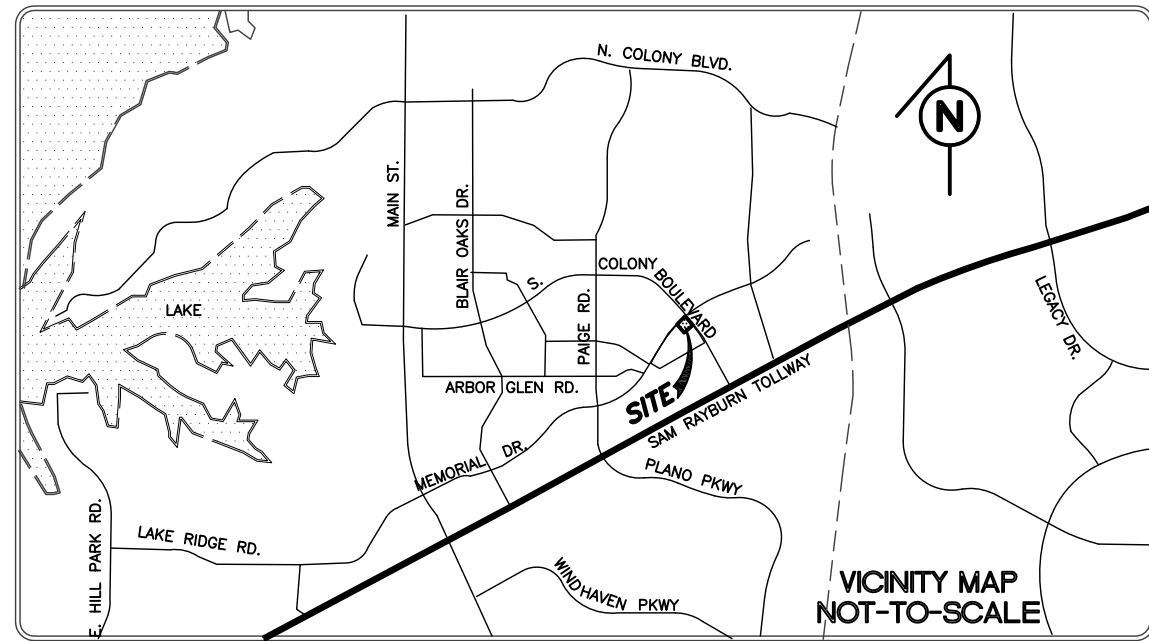
ON THE ____ DAY OF _____, 2015, THIS PLAT WAS DULY APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF THE COLONY.

SIGNED: _____
CHAIRMAN OF THE PLANNING AND ZONING COMMISSION

ATTEST: _____
CITY SECRETARY

LEGEND

CM CONTROLLING MONUMENT
IRF IRON ROD FOUND
DRDCT DEED RECORDS DENTON COUNTY TEXAS
PRDCT PLAT RECORDS DENTON COUNTY TEXAS
CCF COUNTY CLERK FILE
SEP SEPARATE
INST INSTRUMENT



~ EASEMENTS CURVE TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
C1	8848.18'	0°03'46"	9.70'	N43°23'14"E	9.70'
C2	4042.07'	0°48'07"	56.58'	N43°56'00"E	56.58'
C3	25.00'	16°17'43"	7.11'	S31°59'33"E	7.09'
C4	20.00'	90°00'00"	31.42'	S85°08'25"E	28.28'
C5	40.00'	89°55'58"	62.78'	S85°10'26"E	56.54'
C6	20.00'	94°36'49"	33.03'	S87°30'51"E	29.40'
C7	3931.57'	0°32'59"	37.72'	S38°14'00"E	37.72'
C8	15.00'	52°43'20"	13.80'	S65°14'02"W	13.32'
C9	25.00'	42°53'30"	18.71'	S17°25'37"W	18.28'
C10	23.00'	39°30'11"	15.86'	S82°34'08"W	15.55'
C11	40.00'	76°58'31"	53.74'	N78°41'42"W	49.79'
C12	20.00'	89°55'58"	31.39'	N85°10'26"W	28.27'
C13	40.00'	84°23'58"	58.92'	N87°56'26"W	53.74'
C14	25.00'	21°54'29"	9.56'	N56°41'42"W	9.50'
C15	4012.23'	0°56'34"	66.02'	N44°51'51"E	66.02'
C16	1693.57'	0°20'18"	10.00'	N45°26'48"E	10.00'
C17	3818.50'	1°58'34"	131.69'	N46°31'40"E	131.69'
C18	4879.12'	0°14'05"	20.00'	N47°42'08"E	20.00'
C19	3980.01'	0°17'16"	19.99'	S41°53'57"E	19.99'
C20	3974.80'	4°00'06"	277.61'	S39°53'50"E	277.55'
C21	3862.15'	0°14'32"	16.33'	S37°50'48"E	16.33'

~ EASEMENTS LINE TABLE ~

NO.	BEARING	DISTANCE
L1	S40°08'25"E	2.56'
L2	N49°51'35"E	70.58'
L3	S40°12'27"E	147.95'
L4	N45°10'44"E	76.64'
L5	S38°52'22"W	3.87'
L6	S04°01'08"E	11.48'
L7	N40°12'27"W	164.23'
L8	S49°51'35"W	99.09'
L9	N45°44'27"W	2.54'
L10	S44°28'28"E	17.50'
L11	S45°26'47"W	10.00'
L12	N44°28'28"W	17.50'
L13	N87°06'31"W	28.18'
L14	S49°55'54"W	10.01'
L15	N37°44'13"W	2.13'
L16	S49°53'30"W	10.50'
L17	N37°49'27"W	10.01'
L18	N49°53'30"E	10.50'
L19	S87°06'31"E	14.07'
L20	S45°30'26"E	65.77'
L21	S44°48'29"W	81.45'
L22	N40°24'32"W	64.83'

FINAL PLAT
COLONY CENTER ADDITION
LOT 6 - BLOCK A

BEING 1.9621 ACRES OUT OF THE
B.B.B. AND C.R.R. SURVEY, ABSTRACT NO. 174
CITY OF THE COLONY, DENTON COUNTY, TEXAS

CITY FILE NO. FP15-0009

SHEET 2 OF 2
JULY 7, 2015

OWNER
COLONY 5 PARTNERS
400 PERIMETER CENTER
SUITE 800 TERR NE
ATLANTA, GEORGIA 30346-1242
CONTACT: JEFFREY FINKEL
VICE PRESIDENT

SURVEYOR
BLUE SKY SURVEYING & MAPPING, CORP.
11015 MIDWAY ROAD
DALLAS, TEXAS 75229
(214) 358-4500
CONTACT: DAVID PETREE, RPLS

PLANNING AND ZONING COMMISSION REPORT

AGENDA DATE: July 28, 2015

DEPARTMENT: Development Services Department

PLANNER: Surupa Sen, AICP, Senior Planner, 972-624-3164

SUBJECT: *RP15-0003 Boathouse Retail Replat*

Consider approval of a Final Plat for Lot 6R, Block C, Parks of Austin Ranch Addition, a Replat of Lot 6, Block C, Parks of Austin Ranch Addition, being 3.679 acres out of David Andrews Survey, Abstract No. 18, an addition to the City of The Colony, Denton County, Texas, located on the southwest corner of Windhaven and Plano Parkway, in Planned Development 22 (PD-22) zoning district.

APPLICANT

Owner/Developer:	Billingsley Company	Dallas, Texas
Engineer/Surveyor:	Binkley & Barfield, C&P	Richardson, Texas

EXISTING CONDITION OF PROPERTY

The subject property is currently undeveloped.

PROPOSED DEVELOPMENT

One commercial lot is being proposed on the southwest corner of Windhaven and Plano PKWY. The property is zoned Planned Development 22 (PD-22). A 11,250 square foot retail building with possible restaurant and retail users and a future stand alone 6,175 square foot retail building is being proposed on Lot 6R.

ADJACENT ZONING

North - Planned Development District (PD-22) – Austin Ranch
South - Planned Development District (PD-22) – Austin Ranch
East- Planned Development District (PD-22) – Austin Ranch
West- Planned Development District (PD-22) – Austin Ranch

PLAT DETAILS

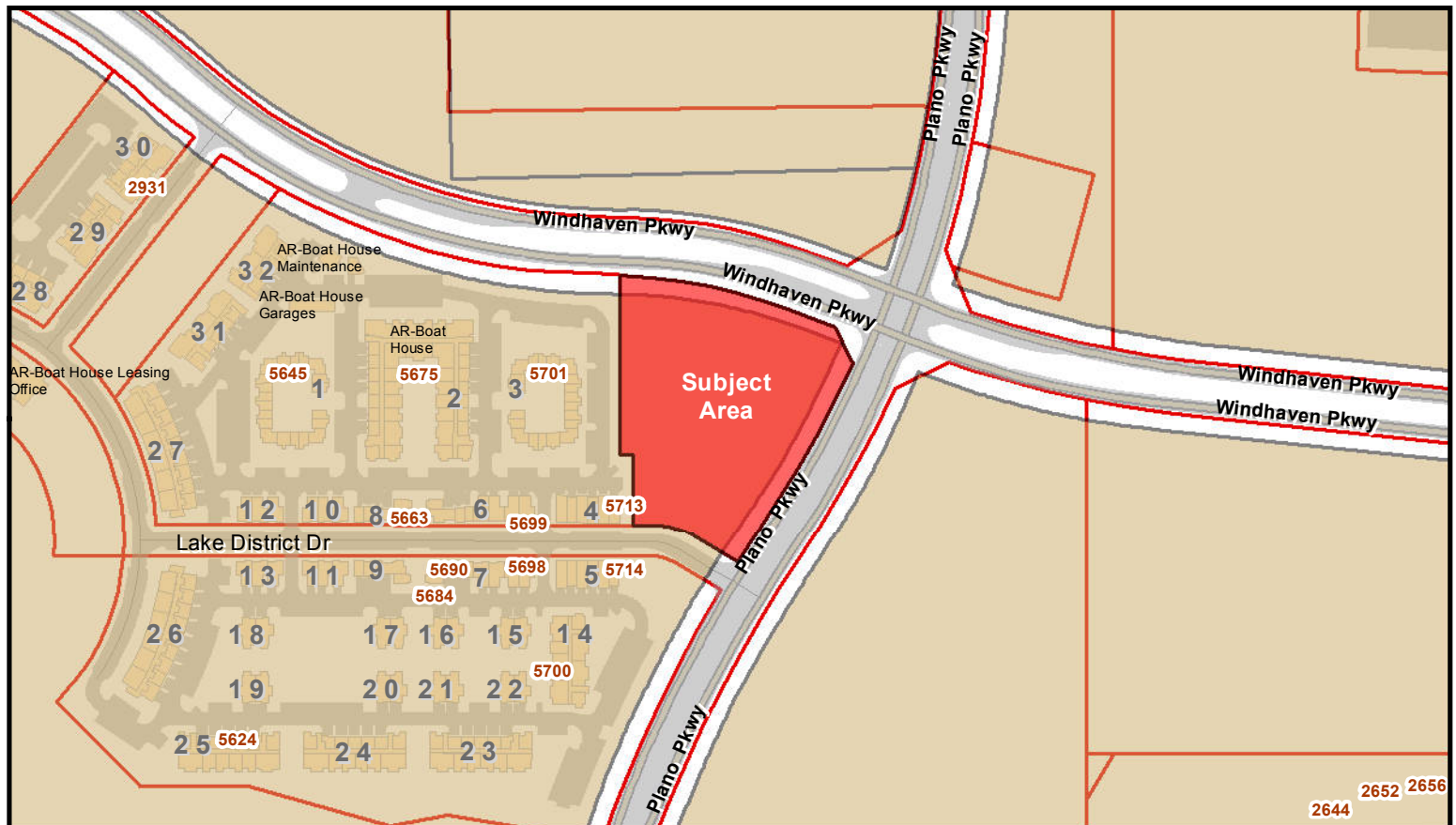
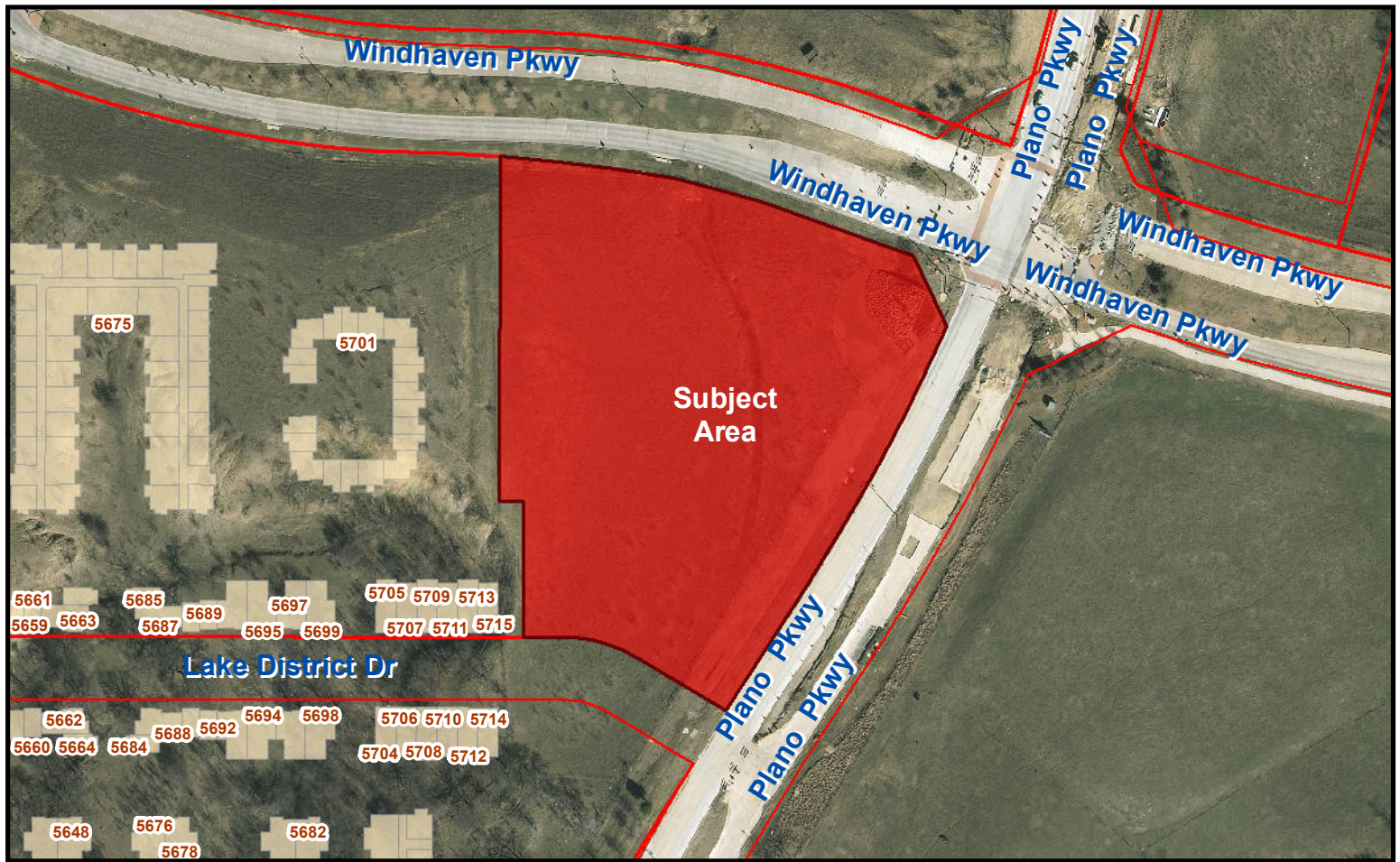
The previous final plat for this property was approved by Planning and Zoning Commission on July 23, 2013. The plat was recorded with Denton County. Currently the applicant is relocating certain easements on this plat which initiated Replat process. The Replat meets, Appendix B, Subdivision Ordinance, of The Colony Code of Ordinances, PD 22 Ordinance and other applicable ordinance requirements.

RECOMMENDATION

The Development Review Committee (DRC) recommends approval of the Final Plat.

ATTACHMENTS

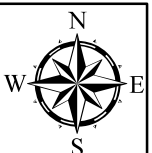
1. Location Map
2. Proposed Replat



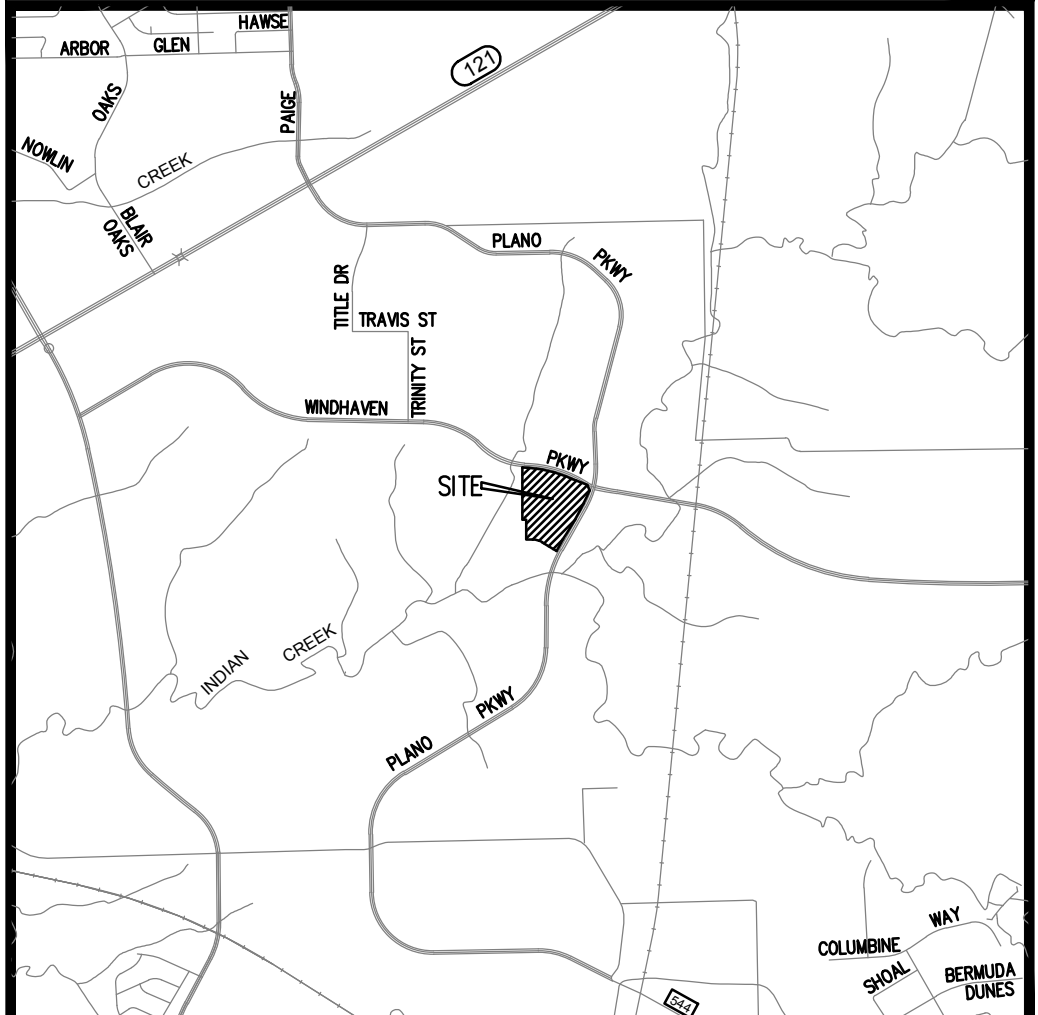
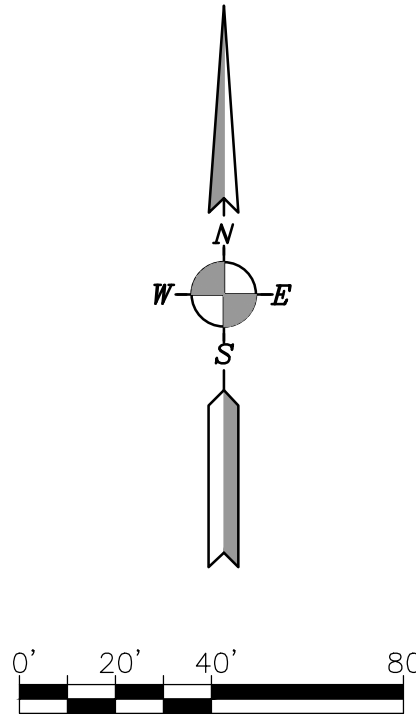
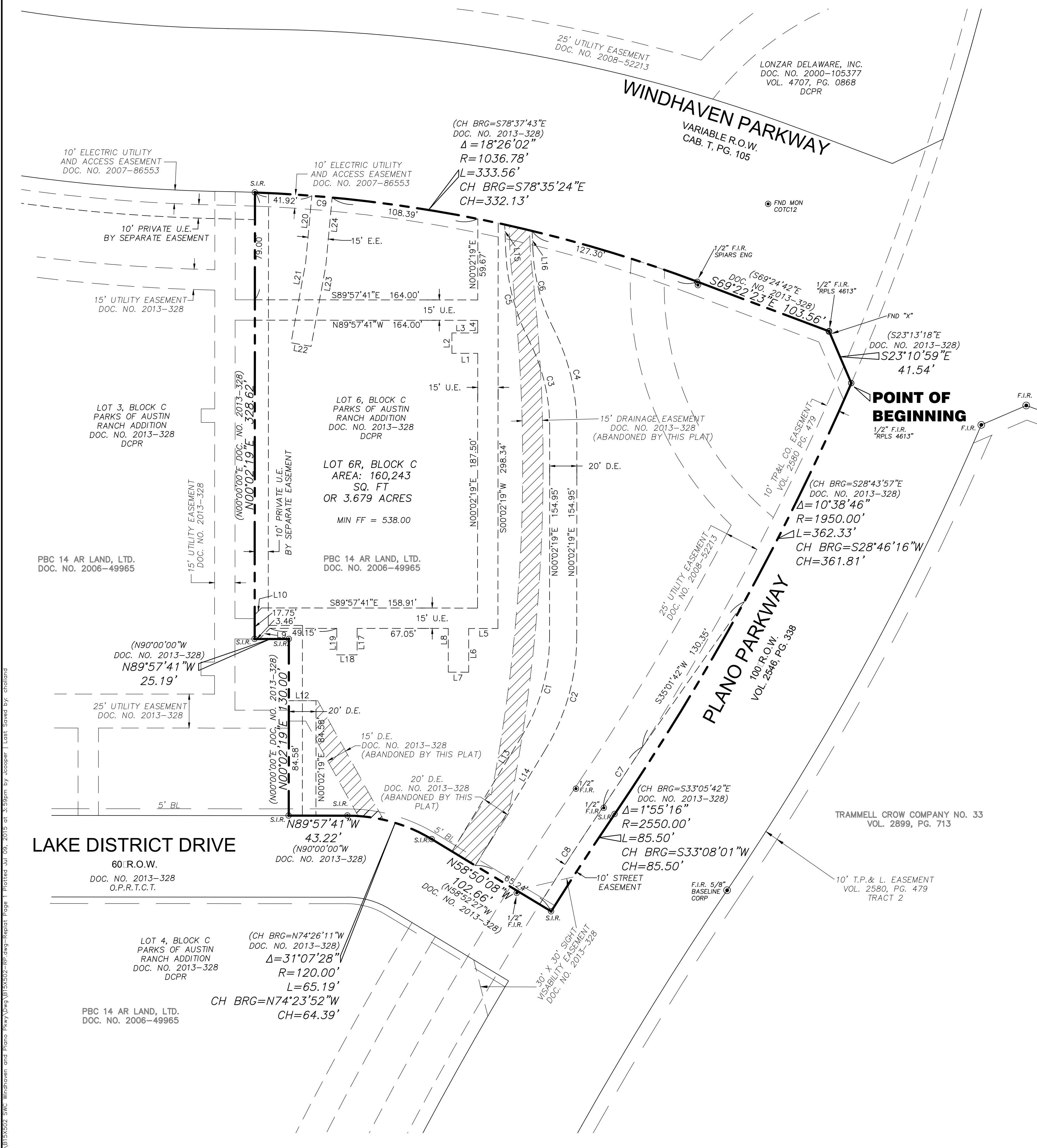
Project No. RP15-0003 - Project Name: Boathouse Retail Replat

Boathouse Retail Replat - Lot 6R	Business Park/Industrial	Heavy Commercial	Mobile Home	Planned Development	Building Footprints
Agricultural	Duplex Dwelling	Industrial	Neighborhood Service	Shopping Center	
Business Park	General Retail	Light Commercial	Office District 1	Single Family Dwelling	

This map was generated by GIS data provided by The Colony GIS Department. The City of The Colony does not guarantee the correctness or accuracy of any features on this map. These digital products are for illustration purposes only and are not suitable for site-specific decision making.



L:\15155502-BWC-Windhaven and Plano Hwy\Drawings\15155502-RP.dwg-Registat Page 1 Printed Jul 09, 2015 at 3:59pm by jcooper | Last Saved by cholland



LOCATION MAP

LEGEND

- S.I.R. SET IRON ROD W/BASELINE CORP. CAP
F.I.R. FOUND IRON ROD
U.E. UTILITY EASEMENT
E.E. ELECTRIC EASEMENT
D.E. DRAINAGE EASEMENT
R.O.W. RIGHT-OF-WAY
DCPR DENTON COUNTY PLAT RECORDS

CURVE	DELTA	ARC LENGTH	RADIUS	CH BRG	CH
C1	31°07'33"	76.05'	140.00'	S15°36'06"W	75.12'
C2	31°07'33"	86.92'	160.00'	N15°36'06"E	85.85'
C3	26°56'26"	65.83'	140.00'	N13°25'54"W	65.22'
C4	26°56'26"	75.23'	160.00'	N13°25'54"W	74.54'
C5	24°30'19"	68.43'	160.00'	N14°38'57"W	67.91'
C6	24°30'19"	59.88'	140.00'	N14°38'57"W	59.42'
C7	1°33'05"	52.51'	1939.17'	S33°19'19"W	52.51'
C8	1°54'31"	85.98'	2580.96'	S33°04'13"W	85.97'
C9	0°49'44"	1036.78'	15.00'	S85°04'33"E	15.00'

LINE	BEARING	DISTANCE
L1	N89°57'41"W	19.00'
L2	S00°02'19"W	15.00'
L3	S89°57'41"E	19.00'
L4	N00°02'19"E	9.29'
L5	S89°57'41"E	21.50'
L6	N00°02'19"E	32.19'
L7	S89°57'41"E	15.00'
L8	N00°02'19"E	32.19'
L9	N45°02'19"E	11.08'
L10	N45°02'19"E	7.20'
L11	S89°57'41"E	20.00'
L12	S00°02'19"W	19.50'
L13	N89°57'41"W	15.00'
L14	N00°02'19"E	19.50'
L15	S05°17'28"W	49.62'
L16	S10°20'25"W	59.70'
L17	S79°39'35"E	15.00'
L18	N10°20'25"E	60.37'
L19	N05°17'28"E	50.38'

NOTES:

- SELLING OFF A PORTION OF THIS ADDITION BY METES AND BOUNDS DESCRIPTION, WITHOUT A REPLAT BEING APPROVED BY THE CITY OF THE COLONY, IS A VIOLATION OF CITY ORDINANCE AND STATE LAW AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
- ACCORDING THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP TITLED "DENTON COUNTY, TEXAS AND INCORPORATED AREAS" MAP NUMBER 48121C0580G, DATED APRIL 18, 2011, THE SUBJECT PROPERTY IS WITHIN A "ONE X" (UNSHADED) WHICH IS DEFINED ON THAT MAP AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN."
- THE COORDINATES HEREON ARE SURFACE COORDINATES AND WERE DERIVED FROM REDUNDANT RTK GPS OBSERVATIONS AND ARE BASED ON THE TEXAS COORDINATE SYSTEM, NORTH CENTRAL "ONE (4202) NAD 83 GEOID 12A", SURFACE COORDINATES AND MAY BE CONVERTED TO GRID BY APPLYING A COMBINED SCALE FACTOR OF 0.99984959203.
- ALL CORNERS ARE SET 5/8" INCH IRON RODS WITH BASELINE CORP. CAP UNLESS OTHERWISE NOTED.
- CORNERS WILL BE SET AFTER CONSTRUCTION IS COMPLETED.

PROJECT NUMBER RP15-0003

PURPOSE OF REPLAT:
TO DEDICATE EASEMENTS NECESSARY FOR SITE DEVELOPMENT

FINAL PLAT
PARKS OF AUSTIN RANCH ADDITION
LOT 6R, BLOCK C
3.679 acres
A REPLAT OF LOT 6, BLOCK C
PARKS OF AUSTIN RANCH ADDITION
David Andrews Survey, Abstract No. 18
City of The Colony, Denton County, Texas

Owner/ Applicant:

One Arts Plaza
1722 Routh Street, Suite 1313
Dallas, Texas 75201
214-270-1000
www.billingsleyco.com

Surveyor:

BASELINE CORPORATION
Professional Surveyors
1801 Gateway Blvd., Suite 103
Richardson, Texas 75080
(972) 535-6325
Contact: Thomas C. Holland, R.P.L.S.
cholland@baselinesurveyors.net
Firm Registration #10193933

Engineer:

Binkley & Barfield
consulting engineers
1801 Gateway Blvd., Suite 101
Richardson, Texas 75080
(972) 644-2800
Fax (972) 644-2817
Contact: David Francis
dfrancis@bbcp.com
Firm Registration #F-3185

Scale 1"=40'
Project No. BC15012/B15X502
June 3, 2015
Sheet 1 of 2

PLANNING AND ZONING COMMISSION REPORT

AGENDA DATE: July 28, 2015

DEPARTMENT: Development Services Department

PLANNER: Surupa Sen, AICP, Senior Planner, 972-624-3164

SUBJECT: *RP15-0004 Parkway Parcels Replat*

Discuss and consider approval of a replat for Lots 4R and 5, Block A, Parkway Parcels Addition, being a replat of Lot 4, Block A Parkway Parcels Addition, 1.873 acres of land recorded in County Clerk's Inst. No. 2015-97, official public records of Denton County an addition to the City of The Colony, Denton County, Texas, located near the southwest corner of Plano Parkway and SH 121, in Planned Development 25 (PD-25) zoning district.

APPLICANT

Owner/Developer:	121 Acquisition Company LLC.	Omaha, Nebraska
Engineer/Surveyor:	Graham Associates Inc.	Arlington, Texas

EXISTING CONDITION OF PROPERTY

The subject property is currently undeveloped. Panera Bread restaurant is proposed on Lot 4R

PROPOSED DEVELOPMENT

Existing Lot 4 of Parkway Parcels is being divided into two lots, Lot 4R and Lot 5, 1.123 acres and 0.750 acres respectively.

ADJACENT ZONING

North - SH 121
South - City of Lewisville
East- Planned Development District (PD-25) – proposed In-N-Out Burger
West- City of Lewisville

PLAT DETAILS

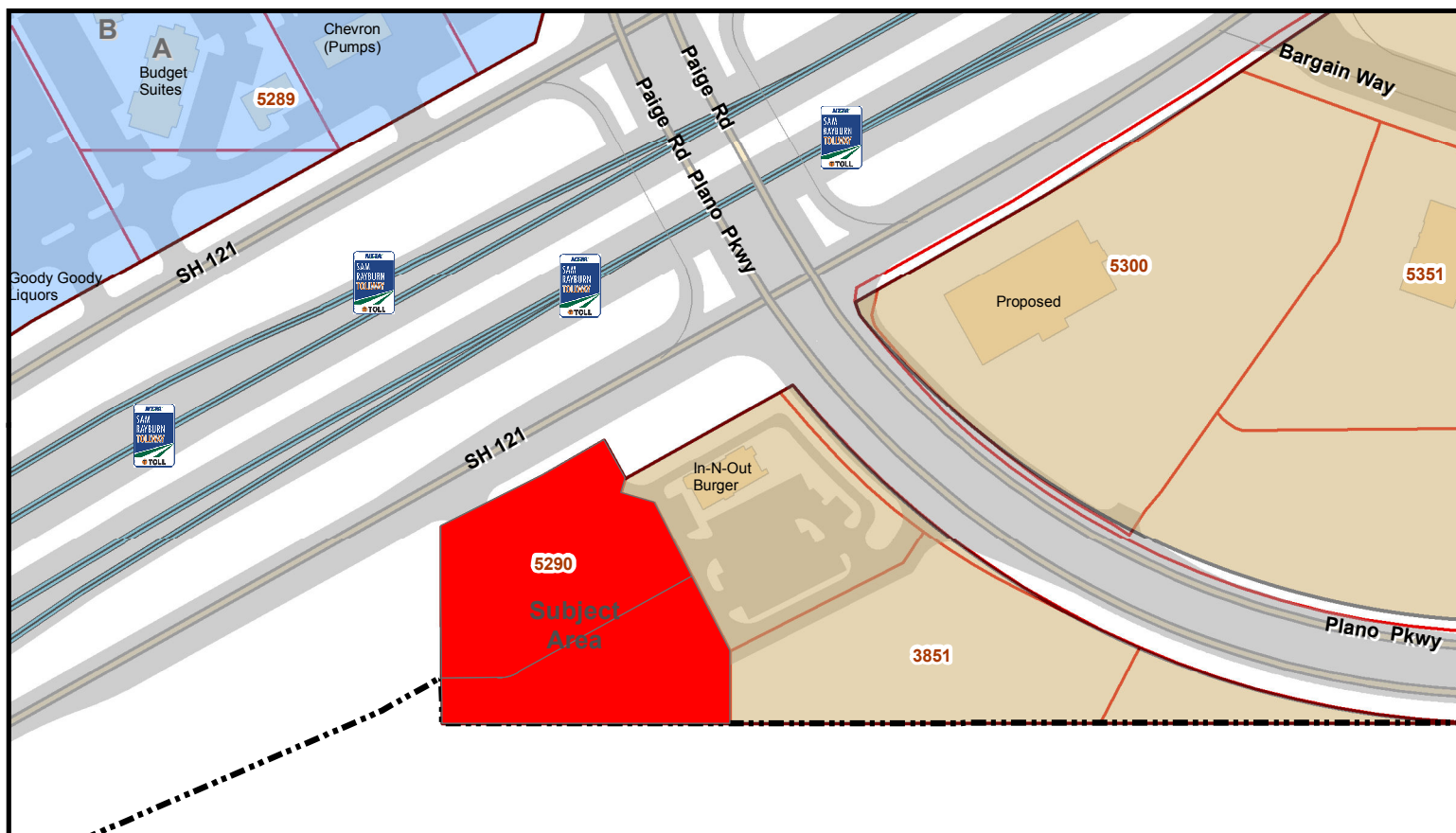
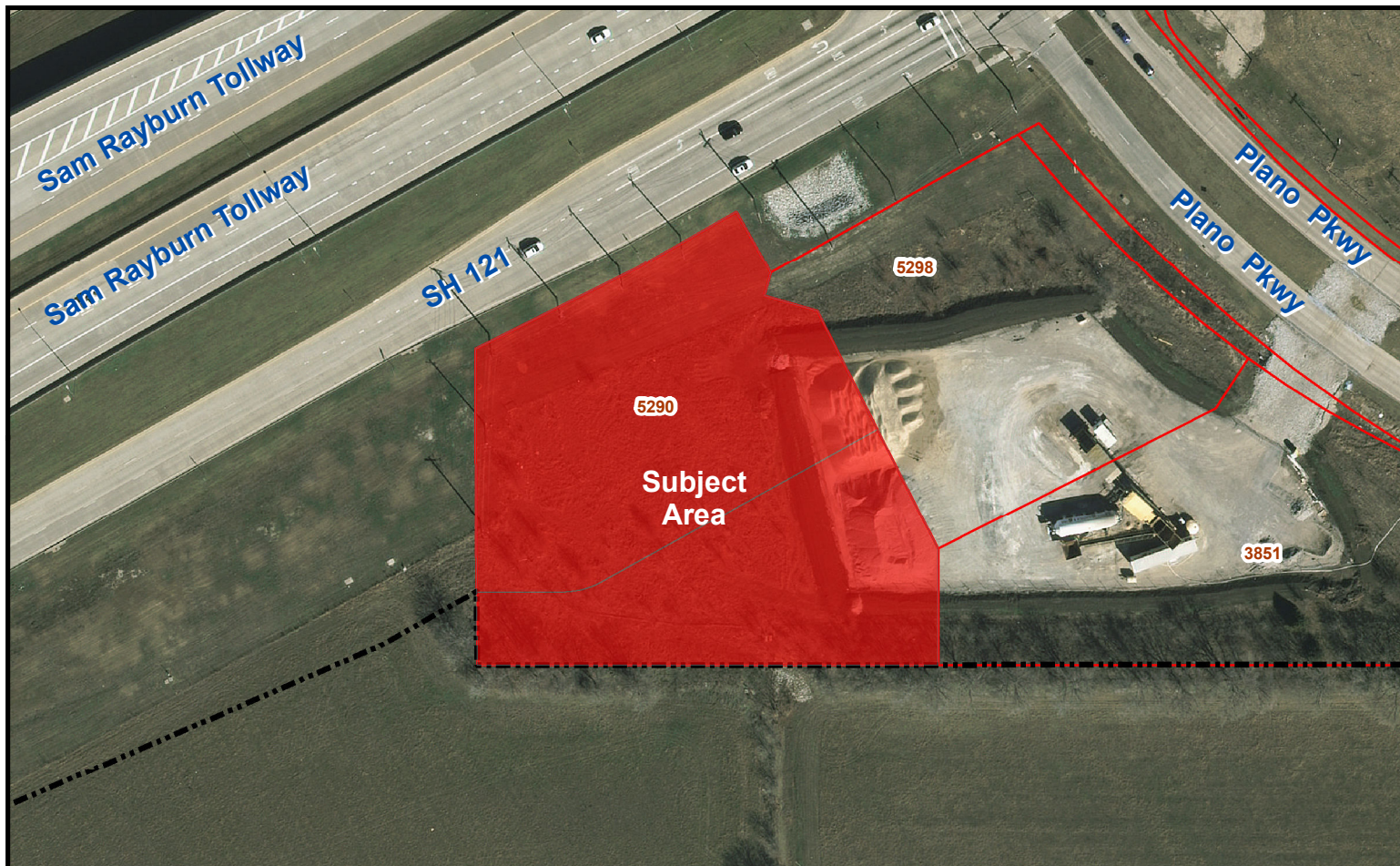
The subject property is located near the southwest corner of Plano Parkway and SH 121 and is zoned Planned Development 25 (PD-25). A 1.873 acre lot is being subdivided into 2 lots. The Final Plat meets, Appendix B, Subdivision Ordinance, of The Colony Code of Ordinances, PD 25 Ordinance and other applicable ordinance requirements.

RECOMMENDATION

The Development Review Committee (DRC) recommends approval of the Final Plat.

ATTACHMENTS

1. Location Map
2. Proposed Replat

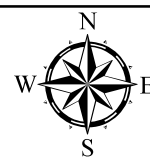


Project No. RP15-0004 - Project Name: Parkway Parcels Addition



■ Parkway Parcels Addition	■ Business Park/Industrial	■ Heavy Commercial	■ Mobile Home	■ Planned Development	■ BuildingFootprints
■ Agricultural	■ Duplex Dwelling	■ Industrial	■ Neighborhood Service	■ Shopping Center	
■ Business Park	■ General Retail	■ Light Commercial	■ Office District 1	■ Single Family Dwelling	

This map was generated by GIS data provided by The Colony GIS Department. The City of The Colony does not guarantee the correctness or accuracy of any features on this map. These digital products are for illustration purposes only and are not suitable for site-specific decision making.

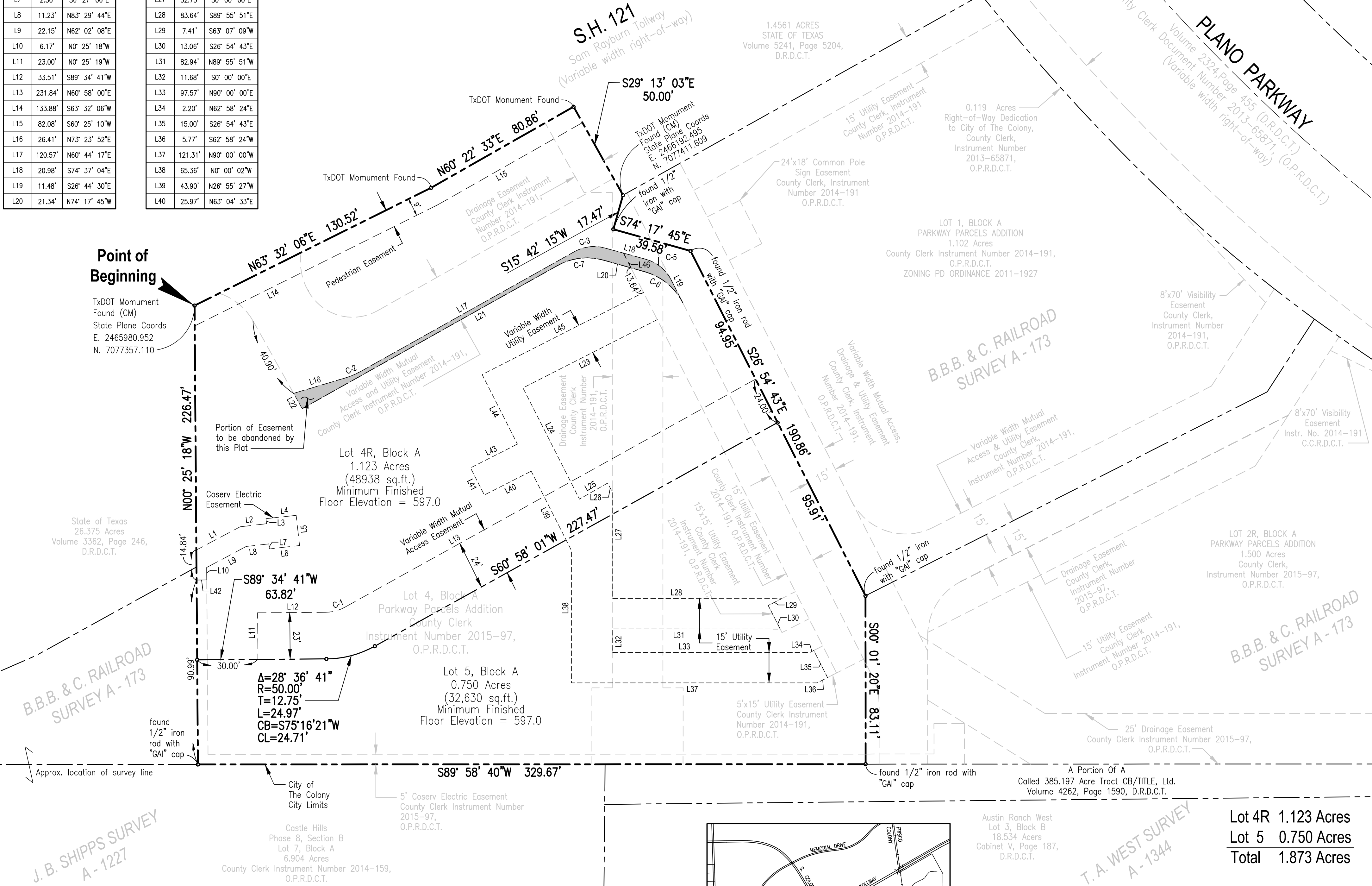


LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	24.47'	S62° 02' 08"W
L2	13.13'	S83° 29' 44"W
L3	2.50'	S6° 27' 06"E
L4	15.00'	S83° 32' 54"W
L5	15.00'	N6° 27' 06"W
L6	15.00'	N83° 32' 54"E
L7	2.50'	S6° 27' 06"E
L8	11.23'	N83° 29' 44"E
L9	22.15'	N62° 02' 08"E
L10	6.17'	N0° 25' 18"W
L11	23.00'	N0° 25' 19"W
L12	33.51'	S89° 34' 41"W
L13	231.84'	N60° 58' 00"E
L14	133.88'	S63° 32' 06"W
L15	82.08'	S60° 25' 10"W
L16	26.41'	N73° 23' 52"E
L17	120.57'	N60° 44' 17"E
L18	20.98'	S74° 37' 04"E
L19	11.48'	S26° 44' 30"E
L20	21.34'	N74° 17' 45"W

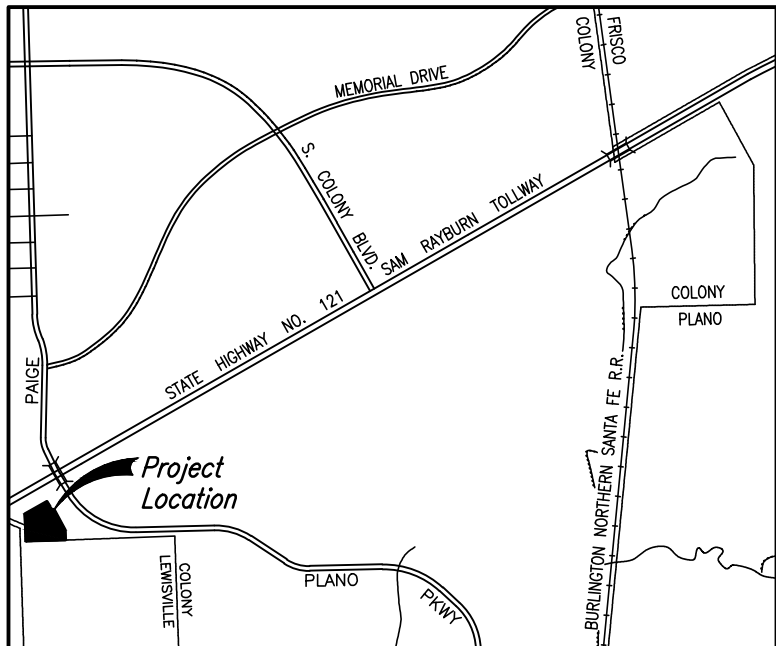
LINE TABLE		
LINE #	LENGTH	DIRECTION
L21	144.42'	S60° 44' 17"W
L22	8.66'	N29° 15' 43"W
L23	74.38'	S63° 04' 33"W
L24	161.57'	S26° 55' 27"E
L25	15.96'	N60° 28' 00"E
L26	4.75'	S29° 01' 59"E
L27	52.75'	S0° 00' 00"E
L28	83.64'	S89° 55' 51"E
L29	7.41'	S63° 07' 09"W
L30	13.06'	S26° 54' 43"E
L31	82.94'	N89° 55' 51"W
L32	11.68'	S0° 00' 00"E
L33	97.57'	N90° 00' 00"E
L34	2.20'	N62° 58' 24"E
L35	15.00'	S26° 54' 43"E
L36	5.77'	S62° 58' 24"W
L37	121.31'	N90° 00' 00"W
L38	65.36'	N0° 00' 02"W
L39	43.90'	N26° 55' 27"W
L40	25.97'	N63° 04' 33"E

LINE TABLE		
LINE #	LENGTH	DIRECTION
L41	15.00'	S26° 55' 27"E
L42	5.00'	S89° 34' 42"W
L43	25.97'	S63° 04' 33"W
L44	38.50'	N26° 55' 27"W
L45	89.38'	N63° 04' 33"E
L46	8.18'	N26° 54' 43"W

CURVE TABLE						
CURVE #	Δ	RADIUS	TANGENT	LENGTH	LCB	LCD
C-1	28° 36' 41"	20.00'	5.10'	9.99'	N75° 16' 21"E	9.88'
C-2	12° 39' 34"	40.00'	4.44'	8.84'	N67° 04' 04"E	8.82'
C-3	44° 38' 39"	20.00'	8.21'	15.58'	N83° 03' 36"E	15.19'
C-5	46° 58' 51"	20.00'	8.69'	16.40'	S51° 07' 39"E	15.94'
C-6	44° 39' 07"	30.00'	12.32'	23.38'	N51° 58' 11"W	22.79'
C-7	44° 57' 58"	30.00'	12.42'	23.54'	S83° 13' 16"W	22.94'



- * GENERAL NOTES *
- ALL PROPERTY CORNERS SHALL BE MONUMENTED WITH A 1/2 INCH IRON ROD SET WITH A CAP STAMPED "GAI" UNLESS OTHERWISE SHOWN HEREON.
 - THE BEARINGS AND COORDINATES SHOWN HEREON ARE BASED ON THE TEXAS COORDINATE SYSTEM (NAD83) (2011), NORTH CENTRAL ZONE (4202). COMBINED SCALE FACTOR = 0.999847330.
 - BUILDING SETBACK LINES TO BE ESTABLISHED PER REQUIREMENTS OF CITY OF THE COLONY PD-25 REGULATIONS, AS AMENDED.
 - ACCORDING TO THE FLOOD INSURANCE RATE MAP PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY OF THE HOMELAND SECURITY AGENCY, THE SUBJECT PROPERTY APPEARS TO BE LOCATED ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOOD), AS SHOWN ON MAP. NO. 48121C0580 G, MAP REVISED: APRIL 18, 2009 FOR DENTON COUNTY AND INCORPORATED AREAS.
 - SELLING OFF A PORTION OF THIS ADDITION BY METES AND BOUNDS DESCRIPTION, WITHOUT A REPLAT BEING APPROVED BY THE CITY OF THE COLONY, IS IN VIOLATION OF CITY ORDINANCE AND STATE LAW AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
 - SIDEWALKS ALONG STREET FRONTAGES SHALL BE BUILT WITH INDIVIDUAL LOT DEVELOPMENT.
 - THE CITY OF THE COLONY IS NOT RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, OR USE OF ANY DETENTION POND, OPEN CHANNEL DRAINAGE-WAY INCLUDING CONCRETE PILOT CHANNELS, ASSOCIATED INLET AND OUTLET STRUCTURES AND ASSOCIATED DRAINAGE EASEMENTS, HEREINAFTER REFERRED TO AS "IMPROVEMENT," TO BE DEVELOPED AND CONSTRUCTED BY OWNER OR HIS SUCCESSORS. OWNER WILL INDEMNIFY, DEFEND AND HOLD HARMLESS THE CITY OF THE COLONY, ITS OFFICERS, EMPLOYEES, AND AGENTS FROM ANY DIRECT OR INDIRECT LOSS, DAMAGE, LIABILITY, OR EXPENSE AND ATTORNEYS' FEES FOR ANY NEGLIGENCE WHATSOEVER, ARISING OUT OF THE DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, CONDITION, OR USE OF THE "IMPROVEMENT," INCLUDING ANY NON-PERFORMANCE OF THE FOREGOING. OWNER WILL REQUIRE ANY SUCCESSOR IN INTEREST TO ACCEPT FULL RESPONSIBILITY AND LIABILITY FOR THE "IMPROVEMENT." ALL OF THE ABOVE SHALL BE COVENANTS RUNNING WITH THE LAND. IT IS EXPRESSLY CONTINGENT THAT THE OWNER SHALL IMPOSE THESE COVENANTS UPON LOTS 4R AND 5 ADJACENT, OR SERVED BY THE "IMPROVEMENT" THE FULL OBLIGATION AND RESPONSIBILITY OF MAINTAINING AND OPERATING SAID "IMPROVEMENT."
 - EASEMENTS SHOWN HEREON ARE DEDICATED PER THE PLAT OF PARKWAY PARCELS ADDITION AS RECORDED IN COUNTY CLERK'S INSTRUMENT No. 2015-191 OF THE OFFICIAL PUBLIC RECORDS OF DENTON COUNTY, TEXAS UNLESS OTHERWISE NOTED.
 - CURRENT ZONING FOR SUBJECT PROPERTY IS PD ORDINANCE 2011-1927
 - PURPOSE OF REPLAT IS TO SUBDIVIDE LOT 4 INTO 2 LOTS FOR DEVELOPMENT.



* LEGEND *

CIRS	1/2 INCH IRON ROD SET WITH CAP STAMPED "GAI"	PG.	PAGE
CIRF	5/8 INCH IRON ROD FOUND WITH CAP STAMPED UNLESS OTHERWISE SHOWN	CAB.	CABINET
IRF	IRON ROD FOUND	C.C.	COUNTY CLERK
BMON	BRASS MONUMENT FOUND	INSTR.	INSTRUMENT
P.F.C.	POINT FOR CORNER	D.R.D.C.T.	DEED RECORDS, DENTON COUNTY, TEXAS
(CM)	CONTROLLING MONUMENT	M.R.D.C.T.	MAP RECORDS, DENTON COUNTY, TEXAS
(XXX.XX)	RECORD BEARING/DISTANCE	O.P.R.D.C.T.	OFFICIAL PUBLIC RECORDS, DENTON COUNTY, TEXAS
FND.	FOUND	R.O.W.	RIGHT-OF-WAY
VOL.	VOLUME	L=11.3'	ARC LENGTH

STATE OF TEXAS §
COUNTY OF TARRANT §
Being a 1.873 acre tract of land situated in the B.B.B. & C. Railroad Co. Survey, Abstract No. 173, City of The Colony, Denton County, Texas and being all of Lot 4, Block A of the Parkway Parcels Addition, an addition to the City of The Colony, Denton County, Texas as recorded in County Clerk's Document No. 2015-97 of the Plat Records of Denton County, Texas and being more particularly described as follows:
BEGINNING at a Texas Department of Transportation (TxDOT) monument found in the south right-of-way line of State Highway 121 (Sam Rayburn Tollway) (a variable width right-of-way as recorded in Volume 5241, Page 5204, Deed Records, Tarrant County, Texas, and being the northwest corner of said Lot 4;
THENCE North 63 degrees 32 minutes 06 seconds East, with the south right-of-way line of said State Highway 121 and the north line of said Lot 4, a distance of 130.52 feet to a found TxDOT monument;
THENCE North 60 degrees 22 minutes 33 seconds East, continuing with the south right-of-way line of said State Highway 121 and the north line of said Lot 4, a distance of 80.86 feet to a found TxDOT monument;
THENCE South 29 degrees 13 minutes 03 seconds East, a distance of 50.00 feet to a TxDOT monument found for the northwesterly corner of Lot 1, Block A, Parkway Parcels Addition, as recorded in County Clerk's Instrument Number 2014-191 of the Official Public Records, Denton County, Texas;
THENCE South 15 degrees 42 minutes 15 seconds West, with the westerly line of said Lot 1 and the easterly line of said Lot 4, a distance of 17.47 feet to a 1/2 inch iron rod found with "GAI" cap;
THENCE South 74 degrees 17 minutes 45 seconds East, with the southerly line of said Lot 1 and the northerly line of said Lot 4, a distance of 39.58 feet to a 1/2 inch iron rod found with "GAI" cap;
THENCE South 26 degrees 54 minutes 43 seconds East, with the westerly line of said Lot 1 and the easterly line of said Lot 4, a distance of 190.86 feet to a 1/2 inch iron rod found with "GAI" cap;
THENCE South 00 degrees 01 minutes 20 seconds East, departing the westerly line of said Lot 1 and continuing with the east of said Lot 4 and being in the west line of Lot 2R, Block A, as recorded in County Clerk's Instrument Number 2014-191 of the Official Public Records of Denton County, Texas, a distance of 83.11 feet to a 1/2 inch iron rod found with "GAI" cap being the southeast corner of said Lot 4 and the southwest corner of said Lot 2R, also being in the north line of Lot 3, Block B, Austin Ranch West, as recorded in Cabinet V, Page 187, Deed Records, Tarrant County, Texas;
THENCE South 89 degrees 58 minutes 40 seconds West, departing the southwest corner of said Lot 2R and along the south line of said Lot 4, the north line of said Lot 3 and continuing with the north line of a 5.409 acre Castle Hills Phase 8, Section B, tract of land as recorded in County Clerk's Instrument Number 2014-414 of the Official Public Records of Denton County, Texas, a distance of 329.67 feet to a 1/2 inch iron rod found with "GAI" cap being in the southwest corner of said Lot 4;
THENCE North 00 degrees 25 minutes 18 seconds West, departing the south line of said Lot 4 and the north line of said Castle Hills Phase 8, Section B, tract and along the west line of said Lot 4 and the east line of said Castle Hills Phase 8, Section B, and continuing with the south right-of-way line of said State Highway 121, a distance of 226.47 feet to the POINT OF BEGINNING, containing 1.873 acres or 81,568 square feet of land, more or less.

OWNER'S DEDICATION

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT, 121 ACQUISITION COMPANY, LLC, through the undersigned authority, do hereby adopt this plat designating the herein above described property as the PARKWAY PARCELS ADDITION, an addition to the City of The Colony, Denton County, Texas, and do hereby dedicate in fee simple to the public use forever the streets and alleys shown hereon; and does hereby dedicate the easements on the plat for mutual use and accommodation of all public utilities desiring to use, or using the same and are free of any encumbrances, except as shown herein. 121 Acquisition Company, LLC and the City of The Colony, Texas, do hereby bind itself, its successors and assigns to forever warrant and defend all and singular the above described streets, alleys, easements and rights unto the public against every person whomsoever lawfully claiming or to claim the same or any part thereof. No buildings, fences, trees, shrubs, or other improvements shall be constructed or placed upon, over or across the easements on said plat. Any public utility shall have the right to remove and keep removed all or any part of any buildings, fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on any of these easements, and any public utility shall at all times have the right of ingress and egress to and from and upon any of said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or part of its respective system without the necessity of procuring the permission of anyone.

WITNESS MY HAND THIS _____ day of _____, 2015

121 ACQUISITION COMPANY, LLC

Ryan Blumkin, Vice President

STATE OF _____ §

COUNTY OF _____ §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of _____, on this day personally appeared Ryan Blumkin, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same in and for the purpose and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 2015

Notary Public in and for the State of _____

My commission expires _____

SURVEYOR'S CERTIFICATION

I, Michael L. Peterson, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that I have prepared this plat from an actual on the ground survey of the land, and that the corner monuments shown thereon were properly placed under my supervision and in accordance with the Rules and Regulations of the City of The Colony, Texas.

Michael L. Peterson, R.P.L.S.
Texas Registration No. 5999

STATE OF TEXAS §

COUNTY OF TARRANT §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Michael L. Peterson, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same in and for the purpose and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 2015

Notary Public in and for the State of Texas

My commission expires _____

REPLAT

LOTS 4R & 5, BLOCK A
PARKWAY PARCELS ADDITION

BEING A REPLAT OF LOT 4, BLOCK A, PARKWAY PARCELS ADDITION
CITY OF THE COLONY, DENTON COUNTY, TEXAS
AS RECORDED IN COUNTY CLERK'S INST. No. 2015-97
OFFICIAL PUBLIC RECORDS OF DENTON COUNTY, TEXAS

ACREAGE = 1.873
CITY PROJECT NO.: RP15-0004



Graham Associates, Inc.
CONSULTING ENGINEERS & PLANNERS
600 SKI FLATS DRIVE, SUITE 200
ARLINGTON, TEXAS 76011 (817) 460-8535
TBE FIRM: F-1191/TBPLS FIRM: 101388-00

PLANNING AND ZONING COMMISSION REPORT

AGENDA DATE: July 28, 2015

DEPARTMENT: Engineering/Development Services Department

PLANNER: Surupa Sen, AICP, Senior Planner, 972-624-3164

SUBJECT: *SUP15-0008, Colony Center Specific Use Permit*

Conduct a public hearing, discuss and consider making a recommendation to the City Council on a request for a Specific Use Permit (SUP) to allow the use of an alternate exterior material for the Colony Center, a retail center located at the Northwest Corner of SH 121 and South Colony Boulevard within the PD-16 zoning district.

OWNER/ENGINEER

Owner/Developer:	Colony Five Partners	Atlanta, Georgia
Engineer/Surveyor:	Hodges and Associates	Dallas, Texas

EXISTING CONDITION OF PROPERTY

The property is currently undeveloped.

PROPOSED DEVELOPMENT

The applicant is proposing to use concrete tilt wall construction and an Exterior Insulation and Finish System (EIFS) as one of the exterior material. Gateway Overlay District Regulations Section 10A-900 requires the approval of a SUP for concrete tilt wall construction and the use of EIFS. This material and concrete tilt wall construction will be used in the whole retail complex. Under current phase a 72,597 SF Floor and Décor store and 5,693 SF Mattress Firm store are proposed for construction.

ADJACENT ZONING AND LAND USE

North - Planned Development District (PD-14) – The Legends Single Family subdivision
South - Planned Development District (PD-25) – SH 121 and Nebraska Furniture Mart
East- Planned Development District (PD-16) – Village at 121 retail development
West- Planned Development District (PD-14) – Rooms to Go and vacant land

DEVELOPMENT REVIEW COMMITTEE (DRC) REVIEW

The Development Review Committee (DRC) finds the SUP meets the requirements of the PD-16 Ordinance and the Gateway Overlay District as outlined in the Staff Report.

ATTACHMENTS

1. Staff Analysis
2. Location Map
3. Proposed Site Plan
4. Proposed Elevations

ATTACHMENT 1

Staff Analysis

Summary of Request

The applicant is proposing a 72,597 SF Floor and Décor store and 5,693 SF Mattress Firm store along with shared parking for a future retail complex at the Northwest corner of SH 121 and South Colony Boulevard. The applicant is requesting to use concrete tilt wall construction and EIFS as alternate building materials.

Existing Condition of Property

The subject property is undeveloped.

Platting Status

A Preliminary Plat for the area is currently under staff review.

Adjacent Zoning/Land Use

North - Planned Development District (PD-14) – The Legends Single Family subdivision
South - Planned Development District (PD-25) – SH 121 and Nebraska Furniture Mart
East- Planned Development District (PD-16) – Village at 121 retail development
West- Planned Development District (PD-14) – Rooms to Go and vacant land

Land Use Analysis

The proposed land uses in the Business Park (BP) and General Retail (GR) zoning districts of Appendix A, Zoning Ordinance, of the Code of Ordinances are allowed within Tract B of PD-16. With the approval of the SUP, the proposed retail complex will be in compliance with PD-16, the Gateway Overlay Zoning District regulations and Appendix A, Zoning Ordinance.

Proposed Development

The applicant is proposing to develop a retail complex with Floor and Décor being the anchor store. Mattress Firm is proposed to be developed on Lot 1 which is one of the pad sites located adjacent to SH 121. The applicant is also proposing to build a large parking lot that will not only serve the Floor and Décor but also serve the future retail complex. Each lot as they become ready for development will submit a separate site plan and final plat for review and approval. This SUP is for the whole retail complex in order to use alternate building materials.

Infrastructure Improvements

The completion of the South Colony Boulevard leg for the double diverging diamond interchange and SH 121 is the only public infrastructure improvement planned for this area.

Building Material

The applicant is requesting approval to use a texture coated concrete wall as an approved exterior material in reference to the Section 10A-900, Item (c.), 1. (E.), Building Design Standards of Gateway Overlay District Regulations. The applicant is also requesting approval of EIFS material for the cornice and some detail elements used in the façade design.

Texture coating is an attractive look and is very similar to stucco in finished appearance. Concrete tilt wall is an effective means of construction for large buildings. The design will incorporate masonry veneer in several areas for pilasters, wainscot, and accent panels. The main sign band

and upper areas of the concrete walls will have the texture. These methods will allow a variation in texture as well as color and provides for an attractive tailored exterior design with substantial longevity for the overall retail center as required in the Gateway Overlay District.

The use of EIFS allows a wide variety of shapes, details, and applications due to its light weight and easy application process. The manufacturing and application procedure has vastly improved over the years. The end result allows more articulation and definition to the design.

The proposed Floor and Décor building will have 17.58% masonry construction. The proposed Mattress Firm building will have 22.55% masonry material with rest of the 77.45% as EIFS.

Circulation and Parking

The property will have direct access from South Colony Boulevard through a driveway and SH 121 through three (3) shared driveways.

Table 13-100 Off Street Parking Schedule requires 1 parking space per 320 SF for retail shopping centers. The parking provided meets the specific requirements of Table 13-100 of Parking Section.

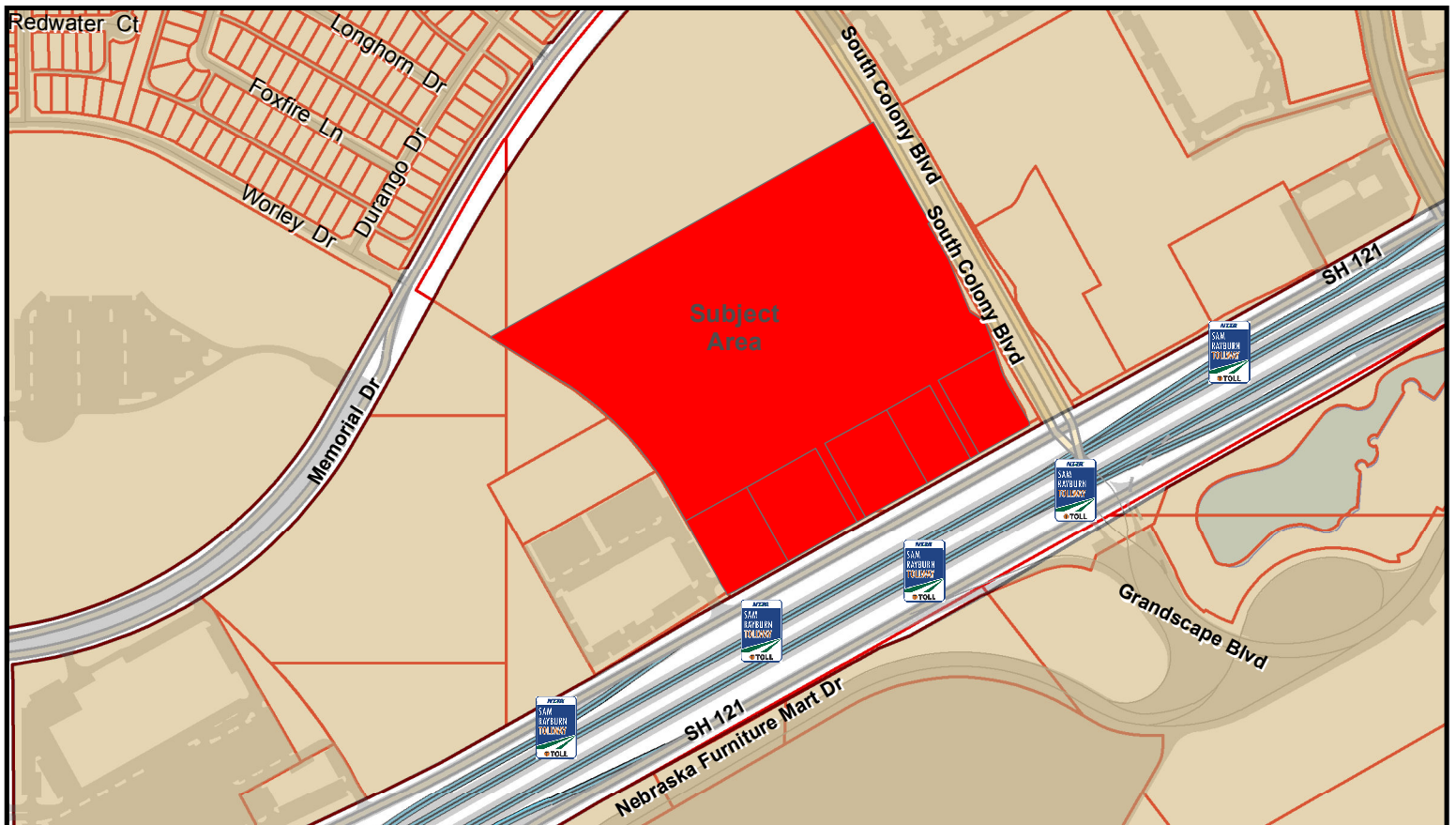
Parking Standard	Parking Required	Parking Provided
Parking calculation for The Colony Center: 1 space per 250 SF 72,597 Floor and Décor 5,693 sf Mattress Firm	314 spaces	844 spaces

Landscaping and Irrigation

The site is proposed to be heavily landscaped with Bald Cypress, Cedar Elm, Red Oak, Chinese Pistache, Live Oak, Crepe Myrtle and shrubs of various types. 10% of vehicular area has been landscaped. One (1) large canopy tree per 400 SF of required interior landscape area has been provided. 66 trees are required; applicant has proposed 83, 3" caliper trees for Lot 7. Lot 1 is proposed to have 5 trees, 3" caliper for parking lot landscaping. Perimeter buffer exclusive of street buffer has been proposed on both lots. Total 46 ornamental trees and 28 shade trees have been proposed on perimeter landscaping. The proposed Landscape Plan includes the required irrigation notations and meets the PD-16 and Gateway Overlay District landscaping requirements.

Development Review Committee Review

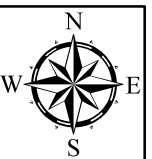
The Development Review Committee finds that SUP Site Plan meets all applicable requirements of the PD-16 and the Gateway Overlay District, therefore recommends approval.

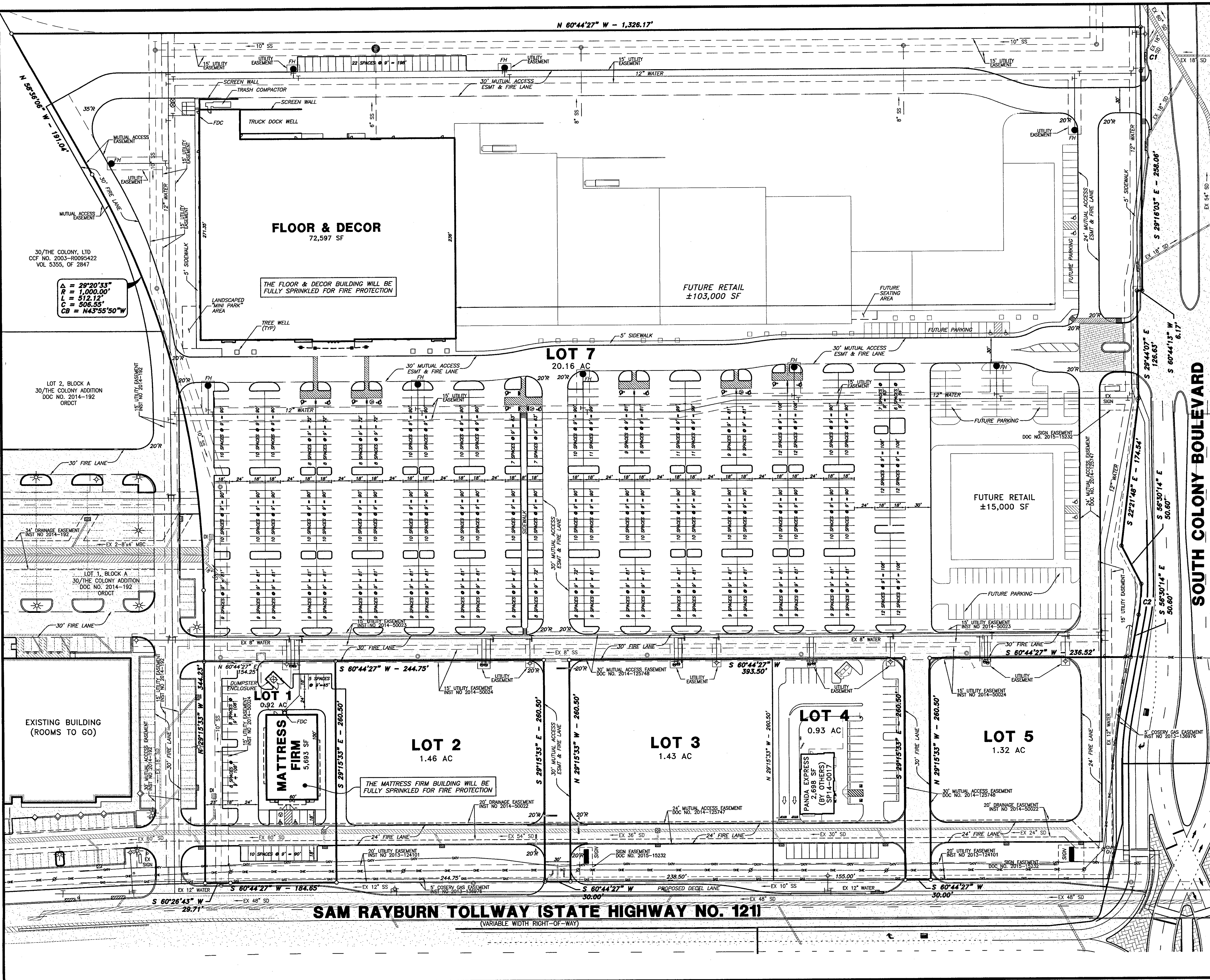


Project No. SUP15-0008 - Project Name: Colony Center

■ Colony Center	■ Business Park/Industrial	■ Heavy Commercial	■ Mobile Home	■ Planned Development
■ Agricultural	■ Duplex Dwelling	■ Industrial	■ Neighborhood Service	■ Shopping Center
■ Business Park	■ General Retail	■ Light Commercial	■ Office District 1	■ Single Family Dwelling

This map was generated by GIS data provided by The Colony GIS Department. The City of The Colony does not guarantee the correctness or accuracy of any features on this map. These digital products are for illustration purposes only and are not suitable for site-specific decision making.





0 25' 50' 100'

1"=50'

LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	OCW	N/A
CONTROLLING MONUMENT	IRF	N/A
IRON ROD FOUND (SIZE NOTED)	N/A	IRS
IRON ROD SET (SIZE NOTED)		
BUILDING		
CURB		
CURB INLET		
RECESSED CURB INLET		
DROP INLET	DI	DI
FIRE HYDRANT		FH
WATER LINE		
SANITARY SEWER LINE		
SANITARY SEWER MANHOLE		
LIGHT POLE		
SIGN		

SITE DATA

	LOT 1	LOT 7
LOT AREA:	20.16 AC	0.92 AC
ZONING:	PD-16 (UNDERLYING BP)	
CURRENT USE:	UNDEVELOPED	UNDEVELOPED
PROPOSED USE:	RETAIL	RETAIL
BUILDING AREA:	72,597 SF	5,693 SF
MAX. BUILDING HEIGHT:	38 FEET	23'-8"
FLOOR/AREA RATIO:	0.08	0.14
PARKING REQUIRED:	291 (1/250)	23 (1/250)
PARKING PROVIDED:	808 (13 HC)	36 (2 HC)
PARKING RATIO:	1/81	1/159
TOTAL SITE AREA (LOTS 1-5 & 7):	28.22 AC	

~ CURVE DATA ~

NO.	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
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NOTES:

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2. SPECIAL USE PERMIT SUP 15-0008 WILL APPLY TO ALL BUILDINGS WITHIN LOTS 1-5 & 7.
3. ALL RETAIL BUILDINGS AND PARKING AREAS NOTED AS FUTURE ARE CONCEPTUAL AND SUBJECT TO CHANGE.

OWNER

COLONY 5 PARTNERS, LLC
400 PERIMETER CENTER TERRACE, SUITE 800
ATLANTA, GEORGIA 30346
(678) 338-4566
CONTACT: JEFF FINKEL

ENGINEER/APPLICANT

CATES-CLARK & ASSOC., LLP
14800 QUORUM DRIVE, SUITE 200
DALLAS, TEXAS 75254
(972) 385-2272
CONTACT: DANIEL B. STEWART, P.E.

APPROVED BY THE CITY COUNCIL
ON THE ____ DAY OF ____
2015.

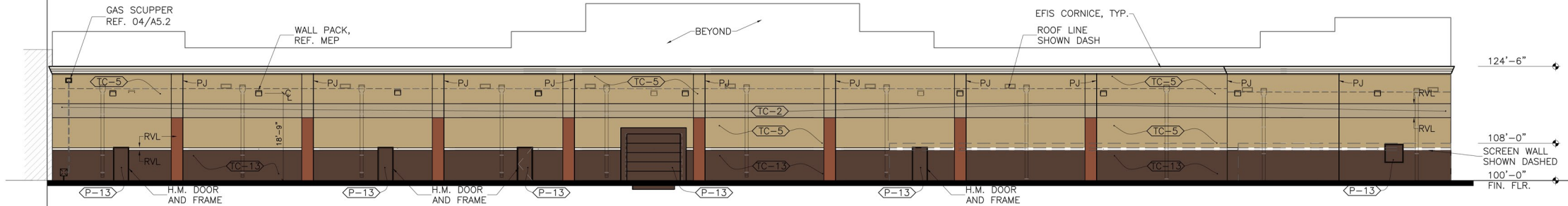
DEVELOPMENT SERVICES DIRECTOR
CITY PROJECT NO. SP15-0010

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY
DANIEL B. STEWART, P.E. 107767
ON 06-26-15

SITE PLAN
COLONY CENTER
N.W.C. S.H. 121 & SOUTH COLONY BLVD.
THE CITY OF THE COLONY, TEXAS

CATES-CLARK
14800 Quorum Drive, Suite 200
Dallas, Texas 75254
Office: 972-385-2272 Fax: 972-980-1627
TXREG. E-3751

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
CCA	CCA	05/15/15	1"=50'	BSSM	112-008 SITE	C2.1



01 ELEVATION - NORTH

Signature block: The Site Plan shall include the following signature block:

Approved by the City Council on the _____ day of _____, 20____.

Planning Director

Materials & Finishes

Stone

ST-1 Lueders Limestone, Color: Roughback,
Type: Chopped Length
Course Size: 6" (x 18" to 36" length), Bed Depth: 3" to 5".

ST-2 Lueders Limestone

Rough Textured Face, Color: Roughback / Splitface Blend
Type: Sawn 3 sides (top, bottom, back), chopped, length,
Course Size: 12" (x 18" to 30" length), Bed Depth: 3" to 5".

ST-4 Lueders Limestone

Rough Textured Face, Color: Roughback / Splitface Blend
Type: Sawn 3 sides (top, bottom, back), chopped, length,
Course Size: 24" (x 18" to 30" length), Bed Depth: 3" to 5".

Metal Coping

MC-1 Metal Coping, Scuppers, Downspouts, Manufacturer: Pac Clad,
Color: "Bone White".

MC-2 Metal Coping, Manufacturer: Berridge, Color: "Deep Red".

Metal Awning

MA-1 Metal Awning Manufacturer: Pac Clad, Color: Bone White.

Cast Stone

CS-1 Manufacturer Ref. Specs Color: Buff

Brick / Block

B-1 Acme Brick, Color: Blend #137

Size: Standard Modular or Kingsize Brick

B-3 Endicott Clay Products, Color: Manganese Ironspot

Size: Standard Modular or Kingsize Brick

B-4 Acme Brick, Color: Brookshire

Size: Standard Modular or Kingsize Brick

Texture Coat / Paint / Stucco

TC-1/P-1/SC-1 Benjamin Moore Color: 871 "Pearl River"

TC-2/P-2/SC-2 Glidden Color: A1797 "Obelisk"

TC-4/P-4/SC-4 Benjamin Moore Color: HC-77 "Alexandria Beige"

TC-5/P-5/SC-5 Benjamin Moore Color: 1077 "Great Plains Gold"

TC-11/P-11/SC-11 Glidden Color: A1825 "Palm Springs Tan"

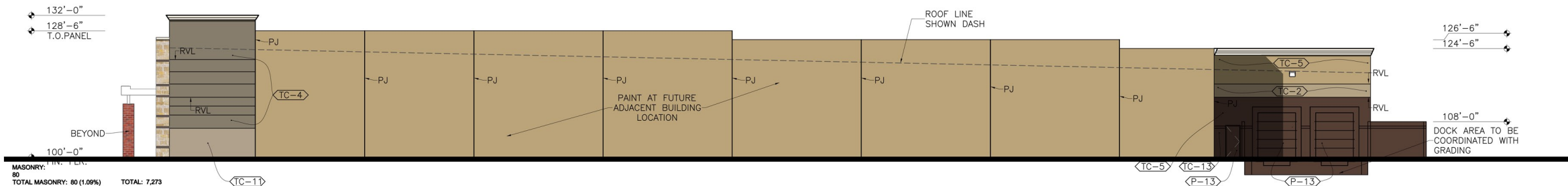
P-13 Benjamin Moore Color: HC-71 "Hasbrouck Brown"

P-14 Benjamin Moore Color: 2099-30 "Espresso"

Storefront

AS-3 Aluminum Storefront

Color: Dark Bronze Finish

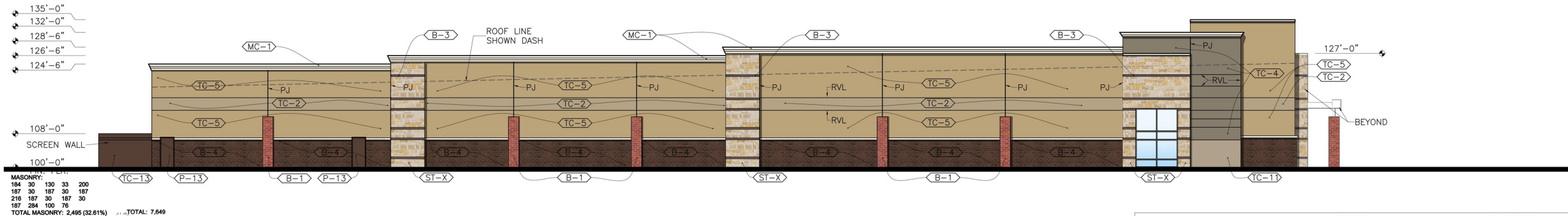


02 ELEVATION - EAST

SCALE: 3/32"=1'-0"



03 ELEVATION - SOUTH



04 ELEVATION - WEST

THE COLONY CENTER (ANCHOR 1)
PROJECT NUMBER:
BUILDING ELEVATIONS
LEGAL DESCRIPTION:
LOT 7, BLOCK A, COLONY CENTER ADDITION

OWNER

COLONY 5 PARTNERS LLC
400 PERIMETER CENTER TERRACE
SUITE 800, ATLANTA, GA 30346
PHONE: 678.338.4566
FAX: 770.352.9953
CONTACT: JEFFREY FINKEL
EMAIL: JFINKEL@ROOMSTOGO.COM

ARCHITECT

HODGES AND ASSOCIATES, P.L.L.C.
13642 OMEGA ROAD
DALLAS, TEXAS 75244
PHONE: 972.387.1000
FAX: 972.960.1129
CONTACT: GERALD LUECKE
EMAIL: GLUECKE@HODGESUSA.COM

COLONY CENTER

ANCHOR 1

HWY. 121 & N. COLONY BLVD. - THE COLONY, TEXAS 75056

HODGES & ASSOCIATES
Architecture + Planning + Interiors
www.hodgesusa.com 972.387.1000
13642 Omega, Dallas, TX 75244

NOT FOR REGULATORY
APPROVAL,
PERMITTING, OR
CONSTRUCTION

Project Number:
H&A #14044-01
AHJ #000000-XX

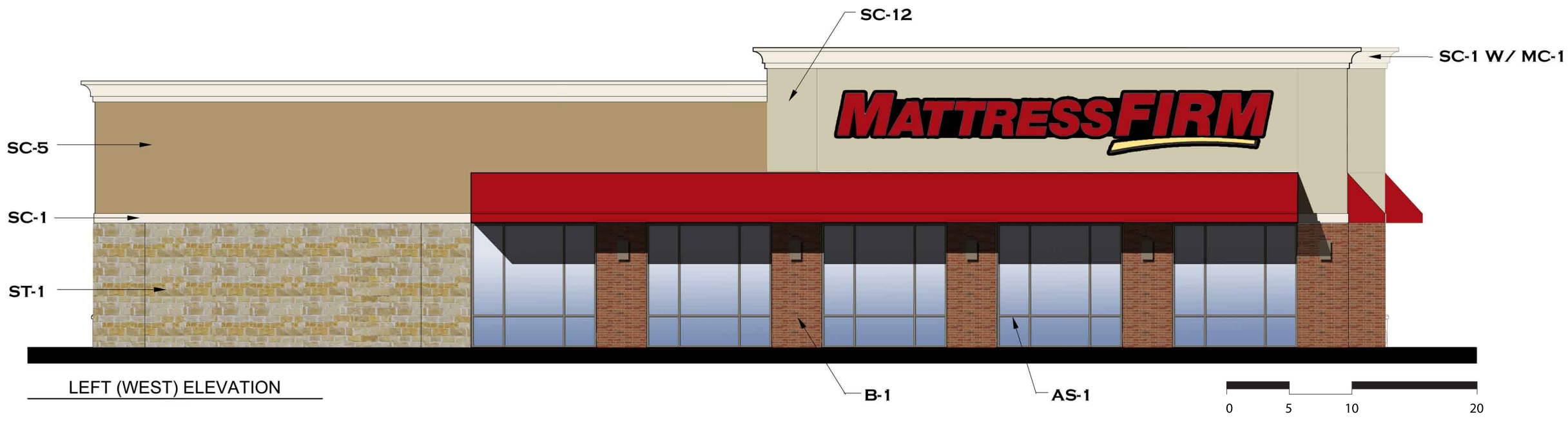
Drawn By:

Checked By:

Issue Log
No Description Date
Review 04.15.15

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A3.1
EXTERIOR
ELEVATIONS



EXTERIOR MATERIAL SCHEDULE	
MATERIAL	FINISHES
ST-1: STONE VENEER	LUEDERS LIMESTONE QUARRIED AND FABRICATED BY MEZGER ENTERPRISES IN LAMPASAS, TX - NO SUBSTITUTIONS, CONTACT: STEVE WALKER (512) 525-6658. STONE MASON MUST BE APPROVED BY MEZGER ENTERPRISES. VENEER - ROUGHTEXTURED FACE - COLOR: ROUGHBACK/SPLITFACE BLEND, TYPE: SAWN 3 SIDES (TOP, BOTTOM, BACK) CHOPPED, LENGTH: COURSE SIZE = 6" (X18" TO 30" LENGTH), BED DEPTH: 3" TO 5". MASONRY MORTAR TO BE 1 BAG (70 POUND) TYPE N WHITE MASONRY CEMENT BY LENIGH CEMENT COMPANY + 6 OUNCES TEXAS BUFF COLORANT BY LAMBERT COMPANY + 18 SHOVELS OF MORTAR SAND BY CAPITOL AGGREGATES.
B-1: BRICK VENEER	ACME BRICK, COLOR: BLEND #137, SIZE: STANDARD MODULAR
SC-5: EXTERIOR INSULATION FINISH SYSTEM - WALL FIELD AND SOFFITS (UNLESS NOTED OTHERWISE)	DRYVIT SYSTEM "SANDPEBBLE" FINE, COLOR: MATCH BENJAMIN MOORE 1077 "GREAT PLAINS GOLD"
SC-1: EXTERIOR INSULATION FINISH SYSTEM - CORNICE	DRYVIT SYSTEM "SANDPEBBLE" FINE, COLOR: MATCH BENJAMIN MOORE COLOR: 871 "PEARL RIVER"
SC-12: EXTERIOR INSULATION FINISH SYSTEM - REAR/NORTH ELEVATION SIGN BACKGROUND	DRYVIT SYSTEM "SANDPEBBLE" FINE, COLOR: MATCH BENJAMIN MOORE HC-83 "GRANT BEIGE"
SC-1: EXTERIOR INSULATION FINISH SYSTEM - ACCENT BAND	DRYVIT SYSTEM "SANDPEBBLE" FINE, COLOR: MATCH BENJAMIN MOORE 871 "PEARL RIVER"
MC-1: PRE FINISHED METAL FASCIA COVER, SCUPPER TRIM, CONDUCTOR HEADS, SCUPPERS, DOWNSPOUTS.	FACTORY FINISHED: PAC CLAD, COLOR: "BONE WHITE".
LADDER, LADDER COVER, ELECTRICAL GEAR, AND HOLLOW METAL DOOR	BENJAMIN MOORE HC-83 "GRANT BEIGE"
AS-1: ALUMINUM STOREFRONT MULLIONS AND DOORS	CLEAR ANODIZED ALUMINUM WITH CLEAR INSULATING GLASS
PREFABRICATED FABRIC AWNING	SUNBRELLA COLOR: LOGO RED *4666-000

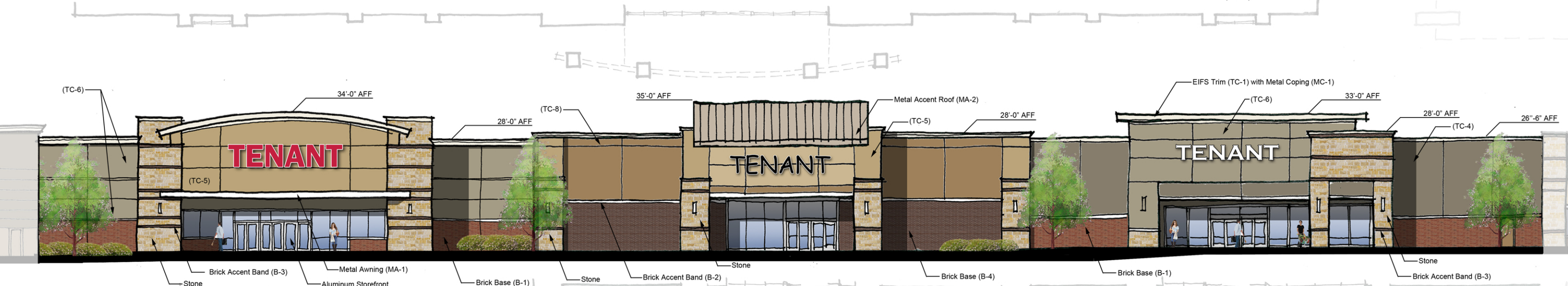
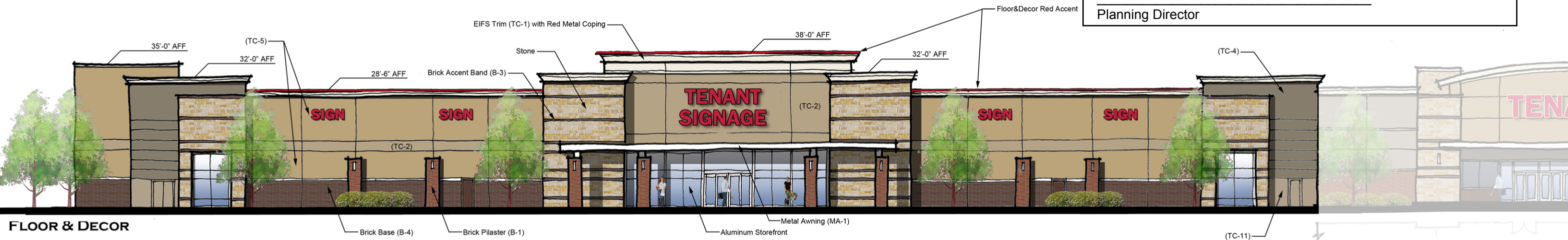
PROPERTY DESCRIPTION: LOT 1, BLOCK A, COLONY CENTER ADDITION

APPROVED BY THE CITY COUNCIL
ON ____ DAY OF ____ 20____.
PLANNING DIRECTOR



ARCHITECTS: 
10877 WATSON ROAD
ST. LOUIS, MO 63127

COLONY 5 PARTNERS, LLC
400 PERIMETER CENTER
TERRACE, SUITE 800
ATLANTA, GEORGIA 30346
(678) 338-4566
CONTACT: JEFF FINKEL



PLANNING AND ZONING COMMISSION REPORT

AGENDA DATE: July 28, 2015

DEPARTMENT: Engineering/Development Services Department

PLANNER: Surupa Sen, AICP, Senior Planner, 972-624-3164

SUBJECT: *SP15-0010, Colony Center Development Plan*

Discuss and consider making a recommendation to the City Council on a request for a Development Plan for the Colony Center Addition, a retail center located at the Northwest Corner of SH 121 and South Colony Boulevard within the PD-16 zoning district.

OWNER/ENGINEER

Owner/Developer:	Colony Five Partners	Atlanta, Georgia
Engineer/Surveyor:	Cates-Clark and Associates	Dallas, Texas

EXISTING CONDITION OF PROPERTY

The property is currently undeveloped.

PROPOSED DEVELOPMENT

The applicant is proposing development of a 72,597 SF Floor and Décor store and 5,693 SF Mattress Firm store along with shared parking for a future retail complex at the Northwest corner of SH 121 and South Colony Boulevard.

ADJACENT ZONING AND LAND USE

North - Planned Development District (PD-14) – The Legends Single Family subdivision
South - Planned Development District (PD-25) – SH 121 and Nebraska Furniture Mart
East- Planned Development District (PD-16) – Village at 121 retail development
West- Planned Development District (PD-14) – Rooms to Go and vacant land

DEVELOPMENT REVIEW COMMITTEE (DRC) REVIEW

The Development Review Committee (DRC) finds the Development Plan meets the requirements of the PD-16 Ordinance and the Gateway Overlay District as outlined in the Staff Report.

ATTACHMENTS

1. Staff Analysis
2. Location Map
3. Proposed Site Plan
4. Proposed Landscape Plan
5. Proposed Elevations

ATTACHMENT 1

Staff Analysis

Summary of Request

The applicant is proposing a 72,597 SF Floor and Décor store and 5,693 SF Mattress Firm store along with shared parking for a future retail complex at the Northwest corner of SH 121 and South Colony Boulevard.

Existing Condition of Property

The subject property is undeveloped.

Platting Status

A preliminary plat for the area is currently under staff review.

Adjacent Zoning/Land Use

North - Planned Development District (PD-14) – The Legends Single Family subdivision
South - Planned Development District (PD-25) – SH 121 and Nebraska Furniture Mart
East- Planned Development District (PD-16) – Village at 121 retail development
West- Planned Development District (PD-14) – Rooms to Go and vacant land

Land Use Analysis

Land uses allowed within Tract B of PD-16 are those allowed in the Business Park (BP) and General Retail (GR) zoning districts of Appendix A, Zoning Ordinance, of the Code of Ordinances. The proposed retail complex is in compliance with PD-16 and the Gateway Overlay District found in Appendix A, Zoning Ordinance of the City of The Colony.

Proposed Development

The applicant is proposing a retail complex with Floor and Décor being the anchor store, and Mattress Firm to be located on one of the pad site development. The applicant is also proposing to build a large parking lot that will not only serve the Floor and Décor but also serve the future retail complex. Each lot as they become ready for development will submit a separate site plan and final plat for review and approval.

The initial construction with this Development Plan are Lot 1 and Lot 7 which are proposed to include the Mattress Firm on Lot 1, and a Floor and Décor Superstore and a parking lot to be located on Lot 7. The Panda Express (Lot 4) was previously approved by the Planning and Zoning Commission and City Council through a separately approved site plan. Final plats for Lot 1, Lot 4 or Lot 7 have not been submitted to the City at this time.

Gateway Overlay District Amenities

Section 10A-1000, Public Amenities and Standards requires for commercial developments of five (5) acres or greater in size to incorporate two (2) public amenities from a list of amenities. The amenities can be chosen from the following list, as found in Section 10A-100 (a)(3) of the Gateway Overlay District:

- (A) Patio or Plaza with seating area;
- (B) Landscaped mini-parks, squares or greens;
- (C) Water feature; or

(D) Outdoor public art.

The applicant chose to provide a landscaped mini-park to comply with this requirement. The second public amenity will be provided with the development of the next phase.

The proposed exterior building materials are a combination of EIFS and masonry. The applicant has submitted an SUP application to allow use of EIFS as an exterior material to comply with Gateway Overlay District requirements.

Infrastructure Improvements

The City is not planning any specific public infrastructure improvements other than the infrastructure improvements constructed by the developer to serve the facility.

Circulation and Parking

The property will have direct access from South Colony Boulevard through a driveway and SH 121 through three (3) shared driveways.

Table 13-100 Off Street Parking Schedule requires 1 parking space per 320 SF for retail shopping centers. The parking provided meets the specific requirements of Table 13-100 of Parking Section.

Parking Standard	Parking Required	Parking Provided
Parking calculation for The Colony Center: 1 space per 250 SF 72,597 Floor and Décor 5,693 sf Mattress Firm	314 spaces	844 spaces

Landscaping and Irrigation

The site is proposed to be heavily landscaped with Bald Cypress, Cedar Elm, Red Oak, Chinese Pistache, Live Oak, Crepe Myrtle and shrubs of various types. Ten percent (10%) of vehicular area has been landscaped. One (1) large canopy tree per 400 SF of required interior landscape area has been provided. Sixty-six (66) trees are required with the applicant proposing to provide 83, three inch (3”) caliper trees for Lot 7. Lot 1 is proposed to have 5 , three inch (3”) caliper trees for parking lot landscaping. Perimeter buffer exclusive of street buffer has been proposed on both lots. A total of 46 ornamental trees and 28 shade trees are proposed within the perimeter landscaping. The proposed Landscape Plan includes the required irrigation notations and meets the PD-16 and Gateway Overlay District landscaping requirements.

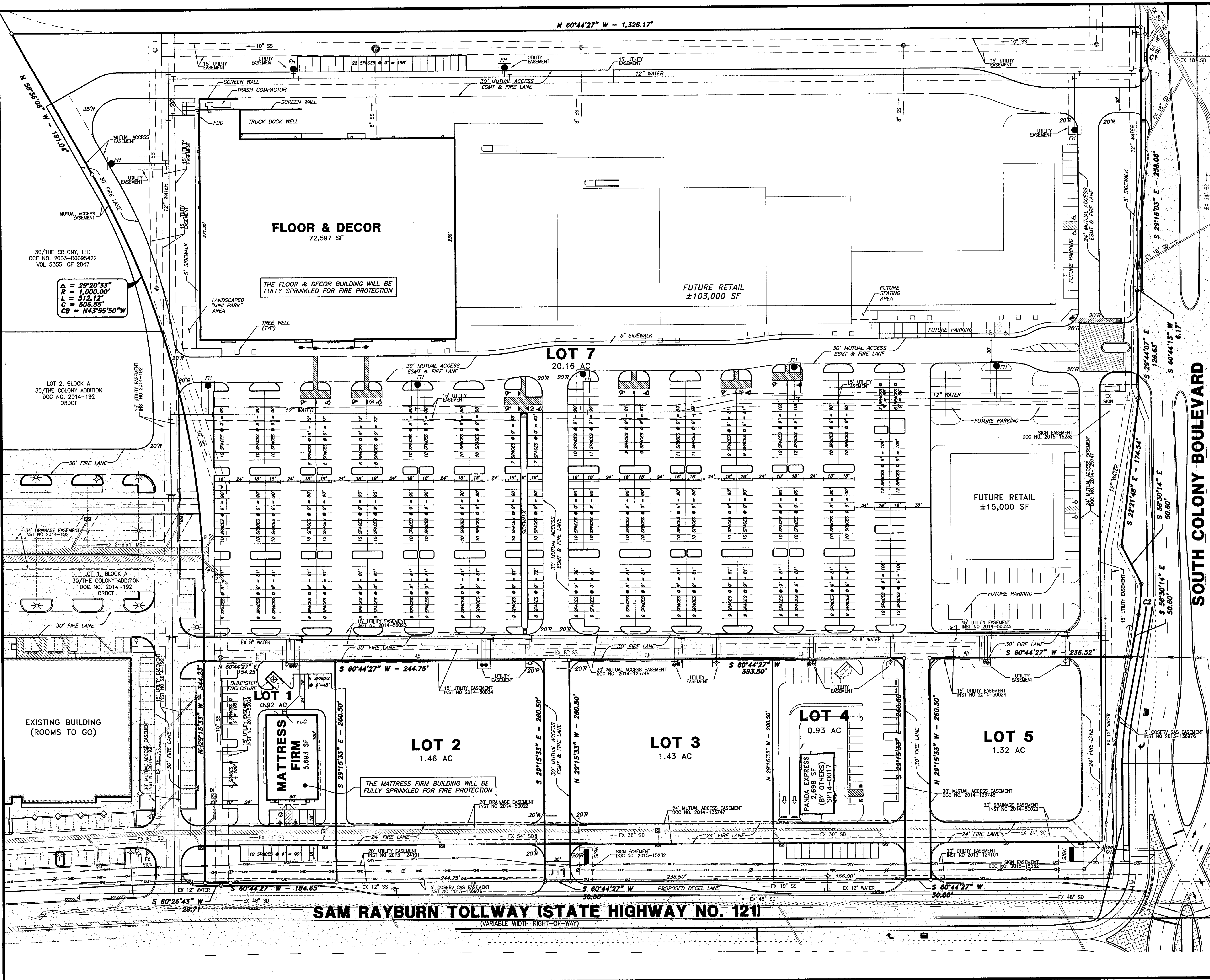
Gateway Landscaping Amenities Requirements

In addition, a development of more than 10 acres in the Gateway Overlay District must provide additional landscaping amenities to meet the requirement of 30 Landscape Points. The applicant is providing 20 of the 30 landscape points in this phase. The remaining 10 points will be met in future phases with decorative planters, benches and sign planting. The applicant has provided the following landscaping amenities to meet this requirement:

Landscape Amenity	Points Earned
Enhanced Landscape at Monument Sign	5 points
Enhanced Entry Landscape	5 points
Enhanced Paving at Entry	5 points
Street Buffer Berm along 50%	5 points
Total Points	20 points

Development Review Committee Review

The Development Review Committee finds that the Development Plan meets all applicable requirements of the PD-16 and the Gateway Overlay District, therefore recommends approval of the Development Plan.



0 25' 50' 100'

1"=50'

LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	OCW	N/A
CONTROLLING MONUMENT	IRF	N/A
IRON ROD FOUND (SIZE NOTED)	N/A	IRS
IRON ROD SET (SIZE NOTED)		
BUILDING		
CURB		
CURB INLET		
RECESSED CURB INLET		
DROP INLET	DI	DI
FIRE HYDRANT		FH
WATER LINE		
SANITARY SEWER LINE		
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SIGN		

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	LOT 1	LOT 7
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PARKING PROVIDED:	808 (13 HC)	36 (2 HC)
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2. SPECIAL USE PERMIT SUP 15-0008 WILL APPLY TO ALL BUILDINGS WITHIN LOTS 1-5 & 7.
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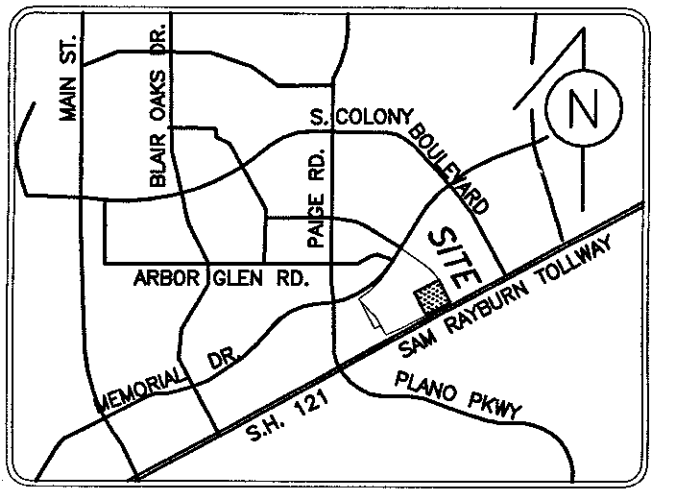
APPROVED BY THE CITY COUNCIL
ON THE ____ DAY OF ____
2015.

DEVELOPMENT SERVICES DIRECTOR
CITY PROJECT NO. SP15-0010

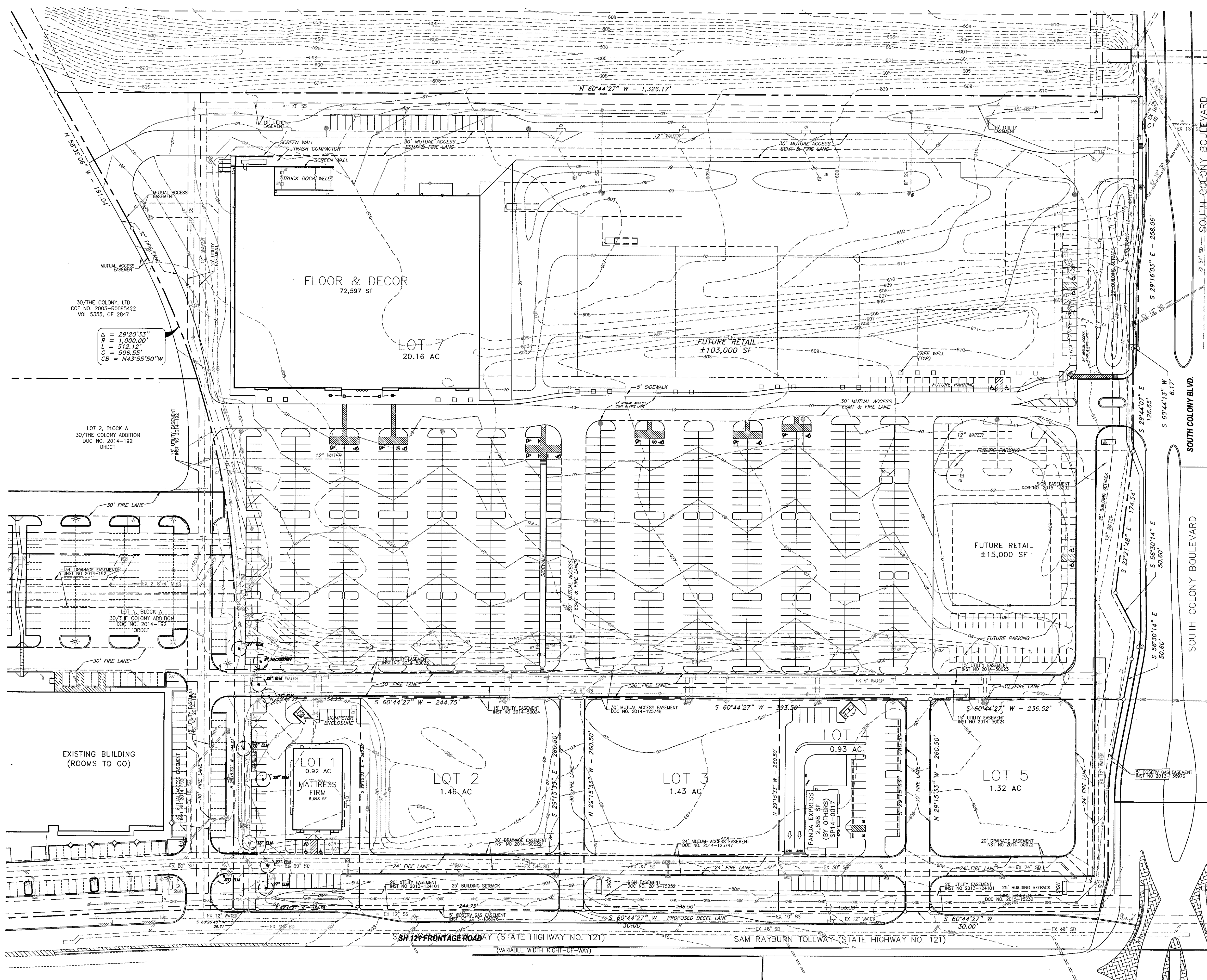
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY
DANIEL B. STEWART, P.E. 107767
ON 06-26-15

SITE PLAN
COLONY CENTER
N.W.C. S.H. 121 & SOUTH COLONY BLVD.
THE CITY OF THE COLONY, TEXAS

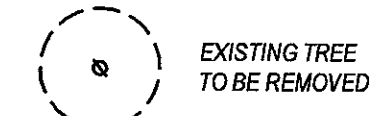
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
CCA	CCA	05/15/15	1"=50'	BSSM	112-008 SITE	C2.1



VICINITY MAP
NOT-TO-SCALE



EXISTING TREE LEGEND



TOTAL TREES ON-SITE:	10
TOTAL PROTECTED TREES ON-SITE:	9
TOTAL PROTECTED TREES ON-SITE REMOVED:	9
EQUALS (18) EXTRA 2" CAL TREES. REFER TO L1.1 AND L1.2	

EXISTING TREE NOTES

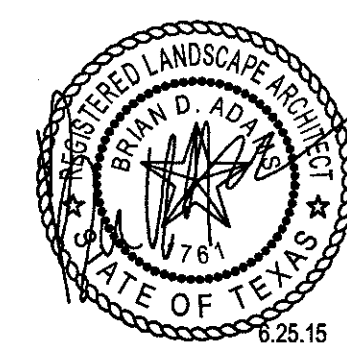
- Existing trees to remain shall be protected during construction from tree structure damage and compaction of soil under and around dripline (canopy) of tree.
- If any root structure is damaged during adjacent excavation/construction, notify the Architect immediately. It is recommended that a licensed Arborist be secured for the treatment of any possible tree wounds.
- No disturbance of the soil greater than 4" shall be located closer to the tree trunk than 1/2 the distance of the drip line to the tree trunk. A minimum of 75% of the drip line and root zone shall be preserved at natural grade.
- Any fine grading done within the critical root zones of the protected trees must be done with light machinery such as a bobcat or light tractor. No earth moving equipment with tracks is allowed within the critical root zone of the trees.
- Material Storage: No materials intended for use in construction or waste materials accumulated due to excavation or demolition shall be placed within the limits of the dripline of any tree.
- Equipment Cleaning/Liquid Disposal: No equipment may be cleaned, toxic solutions, or other liquid chemicals shall be deposited within the limits of the dripline of a tree. This would include but not be limited to paint, oil, solvents, asphalt, concrete, mortar, primers, etc.
- Tree Attachments: No signs, wires or other attachments, other than those of a protective nature shall be attached to any tree.
- Vehicular Traffic: No vehicular and construction equipment traffic or parking is allowed within the limits of the dripline of trees.
- Boring of Utilities: May be permitted under protected trees in certain circumstances. The minimum length of the bore shall be the width of the tree's canopy and shall be a minimum depth of forty-eight (48") inches.
- Trenching: Any irrigation trenching which must be done within the critical root zone of a tree shall be dug by hand and enter the area in a radial manner.
- Tree Flagging: All trees to be removed from the site shall be flagged by the Contractor with bright red vinyl tape (3" width) wrapped around the main trunk at a height of four (4) feet above grade. Flagging shall be approved by Landscape Architect prior to any tree removal. Contractor shall contact Landscape Architect with 72 hour notice to schedule on-site meeting.
- Protective Fencing: All trees to remain, as noted on drawings, shall have protective fencing located at the tree's dripline. The protective fencing may be comprised of snow fencing, orange vinyl construction fencing, chain link fence or other similar fencing with a four (4) foot approximate height. The protective fencing will be located as indicated on the Tree Protection Detail(s).
- Bark Protection: In situations where a tree remains in the immediate area of intended construction, the tree shall be protected by enclosing the entire circumference of the tree's trunk with lumber encircled with wire or other means that does not damage the tree. Refer to Tree Protection Detail(s).
- Construction Pruning: In a case where a low hanging limb is broken during the course of construction, the Contractor shall notify the Landscape Architect immediately. In no instance shall the Contractor prune any portion of the damaged tree without the prior approval by the Landscape Architect.

EXISTING TREE PLAN
SCALE: 1" = 60'-0"



SMR
landscape architects, inc.
1708 N. Griffin Street
Dallas, Texas 75202
Tel 214.871.0083
Fax 214.871.0545
Email smr@smr-4.com

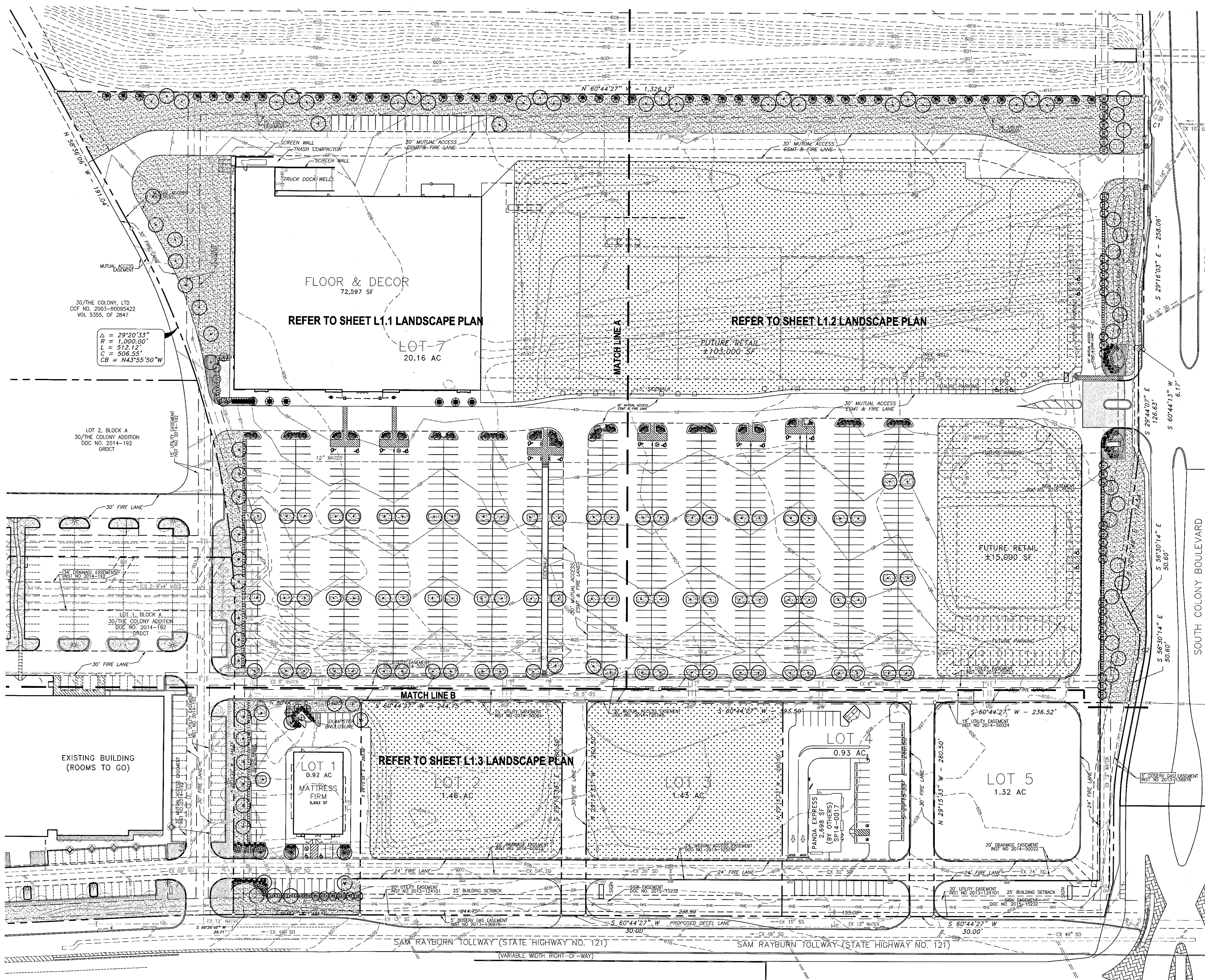
SP15-0010



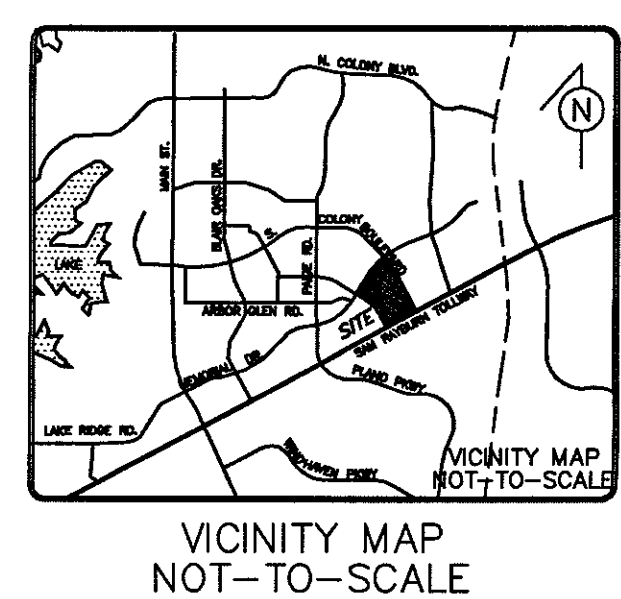
OWNER
30/TH THE COLONY, LTD.
3102 MAPLE AVENUE, SUITE 500
DALLAS, TEXAS 75201
(214) 954-0300
CONTACT: DAVID PALMER

ENGINEER/APPLICANT
CATES-CLARK & ASSOC., LLP
14800 QUORUM DRIVE, SUITE 200
DALLAS, TEXAS 75234
(972) 385-2272
CONTACT: DANIEL B. STEWART, P.E.

REV.	DATE	REMARKS
EXISTING TREE PLAN		
COLONY CENTER		
N.W.C. S.H. 121 & SOUTH COLONY BLVD.		
THE CITY OF THE COLONY, TEXAS		
CATES-CLARK		
DESIGN	DRAWN	DATE
BDA	BDA	06/25/15
SCALE	NOTES	FILE
1"=60'	BSSM	112-008
NO.	L.O.O	



SITE DATA		
LOT AREA:	LOT 1	LOT 7
LOT AREA:	20.16 AC	0.92 AC
ZONING:	PD-16 (UNDERLYING BP)	
CURRENT USE:	UNDEVELOPED	UNDEVELOPED
PROPOSED USE:	RETAIL	RETAIL
BUILDING AREA:	72,597 SF	5,693 SF
MAX. BUILDING HEIGHT:	38 FEET	23'-8"
FLOOR/AREA RATIO:	0.08	0.14
PARKING REQUIRED:	291 (1/250)	23 (1/250)
PARKING PROVIDED:	808 (13 HC)	36 (2 HC)
PARKING RATIO:	1/91	1/159



LANDSCAPE TABULATIONS: LOT 7

STREET REQUIREMENTS
Requirements: (1) tree, 3" cal. min., per (forty) 40 l.f. and (2) ornamental trees per 50 l.f. of frontage in the landscape buffer strip, 24" ht. evergreen parking lot screen

South Colony Blvd. (755.16 l.f.)
Required: (19) trees, 3" cal.
(30) ornamental trees
24" ht. evergreen screen
Provided: (19) trees, 3" cal.
(34) ornamental trees
30" ht. evergreen screen

STREET YARD REQUIREMENTS: N/A THIS PHASE

PARKING LOT (264,300 s.f.)
Requirements: 10% total parking area to be landscaped with (1) tree, 3" cal. per 400 s.f. of required landscape area

Required: 26,430 s.f.
(66) trees, 3" cal.
Provided: 27,953 s.f.
(83) trees, 3" cal.

BUILDING ENTRANCE
Requirements: (1) 'Urban' Tree per 40 l.f. of building facade for bldgs. over 15,000 s.f.
TOTAL L.F.: 1,004 l.f. includes future building
Required: (25) trees
Provided: (6) trees (19) future

PERIMETER BUFFER EXCLUSIVE OF STREET BUFFER
Requirements: (1) ornamental tree per 50 l.f. (1) shade tree per (5) ornamental trees
TOTAL L.F.: 2,296 l.f.
Required: (46) ornamental trees / (10) shade trees
Provided: (41) ornamental trees / (28) shade trees

LANDSCAPE TABULATIONS: LOT 1

STREET REQUIREMENTS
Requirements: (1) tree, 3" cal. min., per (forty) 40 l.f. and (2) ornamental trees per 50 l.f. of frontage in the landscape buffer strip, 24" ht. evergreen parking lot screen

SH121 SERVICE ROAD (154.16 l.f.)
Required: (3) trees, 3" cal.
(6) ornamental trees
24" ht. evergreen screen
Provided: (3) trees, 3" cal.
(6) ornamental trees
30" ht. evergreen screen

STREET YARD REQUIREMENTS (15,047 s.f.)
Requirements: 20% of all street yard shall be landscaped.
For Street yards between 10,000 and 110,000 s.f., ten (10) trees plus one tree per 2,500 s.f. of street yard over 10,000 s.f. shall be required.

Required: (12) trees, 2" cal.
3,009 s.f. (20%)
Provided: (15) trees, 2" cal.
5,306 s.f. (35.2%)

PARKING LOT (12,873 s.f.)
Requirement: 10% total parking area to be landscape with (1) tree, 3" cal. per 400 s.f. of required landscape area

Required: 1,287 s.f.
(3) trees, 3" cal.
Provided: 1,770 s.f.
(5) trees, 3" cal.

PERIMETER BUFFER EXCLUSIVE OF STREET BUFFER
Requirements: (1) ornamental tree per 50 l.f. (1) shade tree per (5) ornamental trees
TOTAL L.F.: 2,296 l.f.
Required: (46) ornamental trees / (10) shade trees
Provided: (41) ornamental trees / (28) shade trees

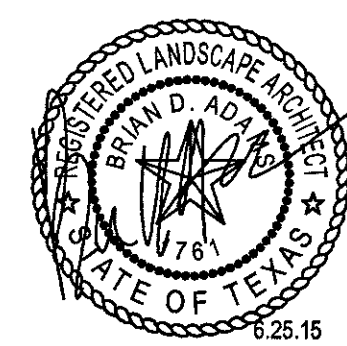
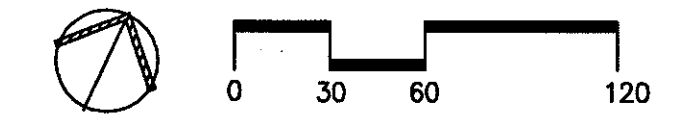
GATEWAY OVERLAY		
30 POINTS REQUIRED		
20 POINTS PROVIDED		
Enhanced Landscape at Monument Sign	5 pts.	
Enhanced Entry Landscape	5 pts.	
Enhanced Paving at Entry	5 pts.	
Street Buffer Berm along 50%	5 pts.	
10 POINTS FUTURE		
Decorative Planters / Benches	5 pts.	
Sign Planting (2)	5 pts.	

* INDICATES MITIGATION TREES
REFER TO L1.1 FOR PLANT LIST

APPROVED BY THE CITY COUNCIL ON THE _____ DAY OF _____, 20__

DEVELOPMENT SERVICES DIRECTOR
CITY PROJECT NO. _____

LANDSCAPE SITE PLAN
SCALE: 1" = 60'-0"



LANDSCAPE SITE PLAN						
COLONY CENTER						
N.W.C. S.H. 121 & SOUTH COLONY BLVD.						
THE CITY OF THE COLONY, TEXAS						
CATES-CLARK						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
BDA	BDA	06/25/15	1"=60'	BSSM	112-008	L1.0

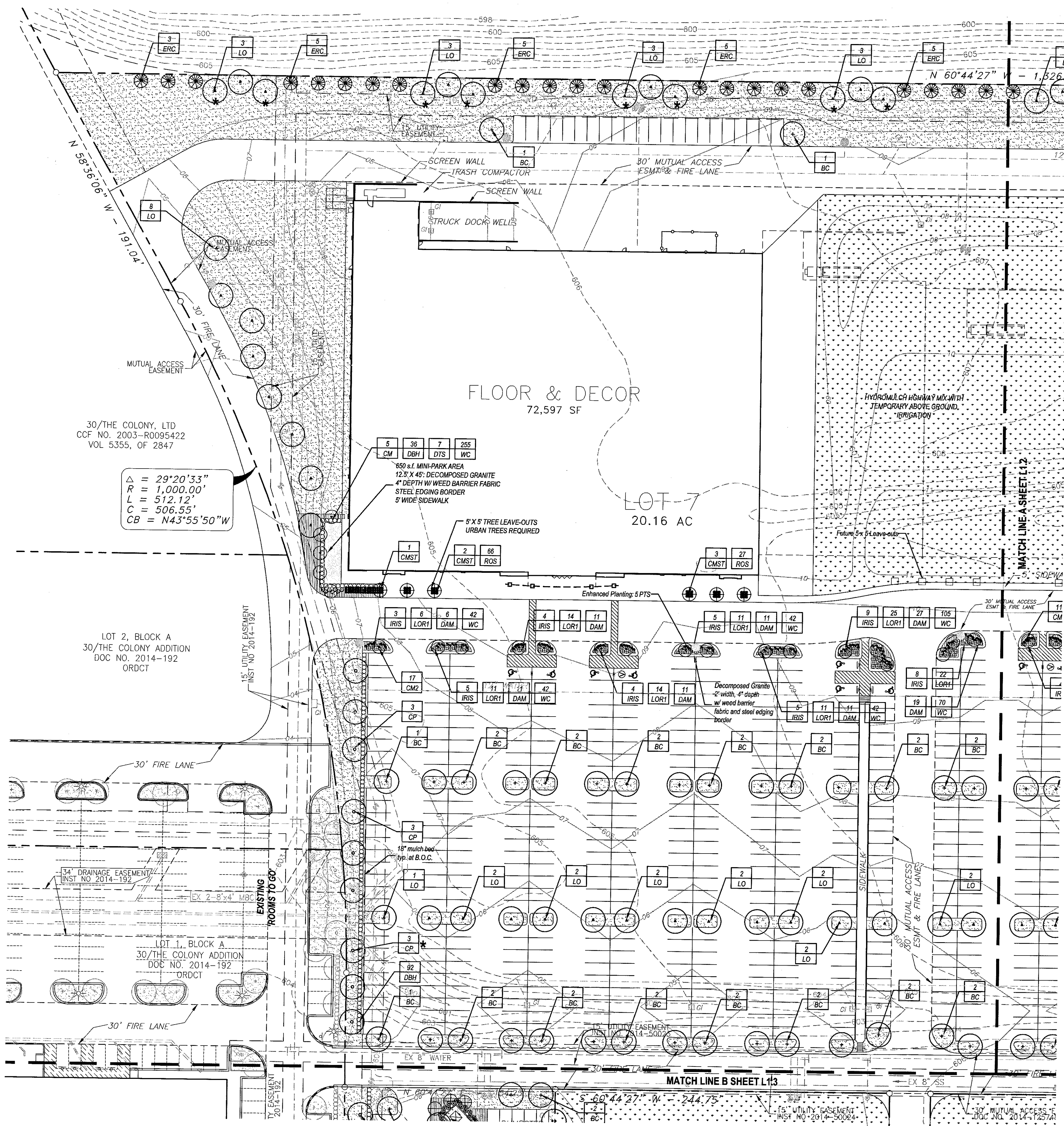
~ CURVE DATA ~					
NO.	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
C1	3984.80'	00°44'28"	51.54'	N29°38'17"W	51.54'
C2	183.00'	11°23'25"	36.38'	N24°08'36"W	36.32'

OWNER
COLONY 5 PARTNERS, LLC
400 PERIMETER CENTER TERRACE, SUITE 800
ATLANTA, GEORGIA 30346
(878) 338-4566
CONTACT: JEFF FINKEL

ENGINEER/APPLICANT
CATES-CLARK & ASSOC., LLP
14800 QUORUM DRIVE, SUITE 200
DALLAS, TEXAS 75254
(972) 385-2272
CONTACT: DANIEL B. STEWART, P.E.

smr
landscape architects, inc.
1708 N. GORMAN STREET
DALLAS, TEXAS 75202
Tel: 214.871.0083
Fax: 214.871.0545
Email: smr@smrllc.com

SP15-0010



LANDSCAPE NOTES

- Contractor shall verify all existing and proposed site elements and notify Architect of any discrepancies. Survey data of existing conditions was supplied by others.
- Contractor shall locate all existing underground utilities and notify Architect of any conflicts. Contractor shall exercise caution when working in the vicinity of underground utilities.
- Contractor is responsible for obtaining all required landscape and irrigation permits.
- Contractor to provide a minimum 2% slope away from all structures.
- All planting beds and lawn areas to be separated by steel edging. No steel to be installed adjacent to sidewalks or curbs.
- All landscape areas to be 100% irrigated with an underground automatic irrigation system and shall include rain and freeze sensors.
- All lawn areas to be Solid Sod Bermudagrass, unless otherwise noted on the drawings.

MAINTENANCE NOTES

- The Owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscape.
- All landscape shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to landscape maintenance.
- All landscape areas shall be kept free of trash, litter, weeds and other such material or plants not part of this plan.
- All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year.
- All plant material which dies shall be replaced with plant material of equal or better value.
- Contractor shall provide separate bid proposal for one year's maintenance to begin after final acceptance.

GENERAL LAWN NOTES

- Fine grade areas to achieve final contours indicated on civil plans.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Imported topsoil shall be natural, friable soil from the region, known as bottom soil, free from lumps, clay, toxic substances, roots, debris, vegetation, stones, containing no salt and black to brown in color.
- All lawn areas to be fine graded, irrigation trenches completely settled, and finish grade approved by the Owner's Construction Manager or Architect prior to installation.
- All rocks 3/4" diameter and larger, dirt clods, sticks, concrete spots, etc. shall be removed prior to placing topsoil and any lawn installation.
- Contractor shall provide (1") one inch of imported topsoil on all areas to receive lawn.

PLANT LIST

QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
60	BC	Bald Cypress	Taxodium distichum	3" cal.	container grown, 12" ht., 4" spread min., 4" clear trunk
22	CE	Cedar Elm	Ulmus crassifolia	3" cal.	container grown, 12" ht., 4" spread min., full to base
7	RO	Red Oak 'Shumard'	Quercus shumardii	3" cal.	container grown, 12" ht., 4" spread min., 4" clear trunk
15	CP	Chinese Pistache	Pistacia chinensis	3" cal.	container grown, 12" ht., 4" spread min., 4" clear trunk
45	CM	Crape Myrtle 'Red'	Lagerstroemia indica 'Red'	8" ht.	container grown, 3-5 cane, no cross caning
28	CM2	Crape Myrtle 'Hop'	Lagerstroemia indica 'Hop'	8" ht.	container grown, 3-5 cane, no cross caning
6	CMST	Crape Myrtle 'Natchez'	Lagerstroemia indica 'Natchez'	2" ht.	container grown, single trunk, matching, 2" cal. min.
59	LO	Live Oak	Quercus virginiana	3" cal.	B&B, 3-5 cane, no cross caning
3	TY	Tree Yaupon Holly	Ilex vomitoria	8" ht.	B&B, full to base
41	ERC	Eastern Red Cedar	Juniperus virginiana	8" ht.	B&B, full to base

QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
400	DBH	Dwarf Burford Holly	Ilex cornuta 'Burfordi nana'	30" ht.	container grown, 30" ht. min., full plant, 36" o.c.
173	DAM	Damianita	Damianita	3" gal.	container, full plant, 24" o.c.
23	DWM	Dwf. Wax Myrtle 'Dons Dwarf'	Myrica pusilla 'Dons Dwarf'	36" ht.	container, full plant, 36" o.c.
74	DTS	Dwf Texas Sage 'Thundercloud'	Leucophyllum sp. 'Thundercloud'	5 gal.	container, full plant, 36" o.c.
64	LOR	Loropetalum 'Plum Delight'	Loropetalum sp. 'Plum Delight'	5 gal.	container, full plant
189	LOR1	Loropetalum 'Purple Pique'	Loropetalum sp. 'Purple Pique'	5 gal.	container, full plant
70	IRIS	Iris	Bicolor Iris	5 gal.	container, full plant
93	ROS	Rosemary	Rosemary	3 gal.	container, full plant
73	SAL	Salvia 'Fumman's Red'	Salvia greggii 'Fumman's Red'	5 gal.	container, full plant

QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
2646	WC	Wintercreeper	Euonymus fortunei coloratus	4" pots	container, (3) 12" runners min., 12" o.c.
475	SC	Seasonal Color	Cynodon dactylon	4" pots	solid sod, refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

* INDICATES MITIGATION TREES
TOTAL 11 THIS SHEET

SOLID SOD NOTES

- Fine grade areas to achieve final contours indicated. Leave areas to receive topsoil 3" below final desired grade in planting areas and 1" below final grade in turf areas.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Contractor to coordinate with on-site Construction Manager for availability of existing topsoil.
- Plant sod by hand to cover indicated area completely. Insure edges of sod are touching. Top dress joints by hand with topsoil to fill voids.
- Roll grass areas to achieve a smooth, even surface, free from unnatural undulations.
- Water sod thoroughly as sod operation progresses.
- Contractor shall maintain all lawn areas until final acceptance. This shall include, but not limited to: mowing, watering, weeding, cultivating, cleaning and replacing dead or bare areas to keep plants in a vigorous, healthy condition.
- Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply if necessary.
- If installation occurs between September 1 and March 1, all sod areas to be over-seeded with Winter Ryegrass, at a rate of (4) pounds per one thousand (1000) square feet.

HIGHWAY MIX LAWN NOTES

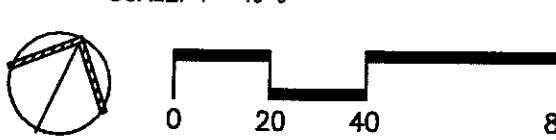
- Installation of native grasses to be performed by hydro-seeding.
- Provide a hydromulch cap per Hydromulch Notes.
- Final grades to be smooth and level free of debris, rocks over 1" and shall have no ruts or depressions.
- Install the following mix at the specified rate:
 - Sidewalks Gramina 5 lbs / acre
 - Blue Gramina Grass 5 lbs / acre
 - Buffalo Grass 40 lbs / acre
 - Green Sprangletop 5 lbs / acre
 - Lovegrass 6 lbs / acre

PLANT LEGEND

TYPE	COMMON NAME
BC	Bald Cypress
CE	Cedar Elm
RO	Red Oak 'Shumard'
CP	Chinese Pistache
CM	Crape Myrtle 'Red'
CM2	Crape Myrtle 'Hop'
CMST	Crape Myrtle 'Natchez'
LO	Live Oak
TY	Tree Yaupon Holly
ERC	Eastern Red Cedar
DBH	Dwarf Burford Holly
DAM	Damianita
DWM	Dwf. Wax Myrtle 'Dons Dwarf'
DTS	Dwf Texas Sage 'Thundercloud'
LOR	Loropetalum 'Plum Delight'
LOR1	Loropetalum 'Purple Pique'
IRIS	Iris
ROS	Rosemary
SAL	Salvia 'Fumman's Red'
WC	Wintercreeper
SC	Seasonal Color

LANDSCAPE PLAN

SCALE: 1" = 40'-0"



1.	6-12-15	CITY COMMENTS
REV.	DATE	REMARKS
LANDSCAPE PLAN		
COLONY CENTER		
N.W.C. S.H. 121 & SOUTH COLONY BLVD.		
THE CITY OF THE COLONY, TEXAS		
CATES-CLARK		
DESIGN	DRAWN	DATE
BDA	BDA	06/25/15
SCALE	NOTES	FILE
1"=40'	BSSM	112-008
NO.		L1.1


SMR
landscape architects, inc.
1706 N. Griffin Street
Dallas, Texas 75202
Tel 214.871.0083
Fax 214.871.0545
Email smr@smr-ls.com

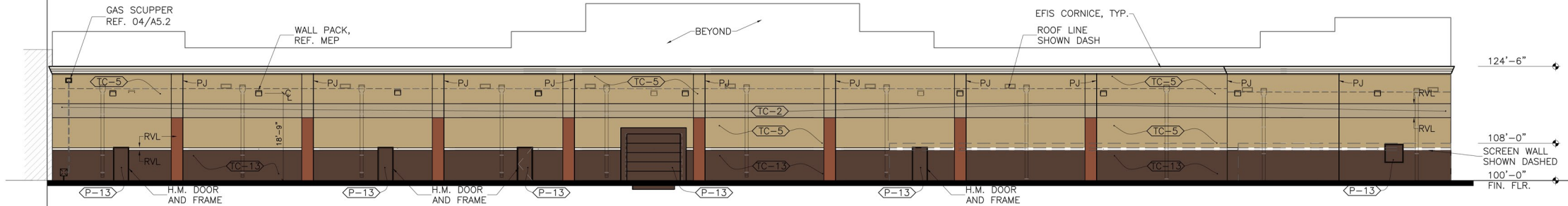
SP15-0010



SHRUBS	
TYPE	COMMON NAME
DBH	Dwarf Burford Holly
DAM	Damianita
DWF	Dwf. Wax Myrtle 'D'
DTS	Dwf Texas Sage 'T'
LOR	Loropetalum 'Plum'
LOR1	Loropetalum 'Purple'
IRIS	Iris
ROS	Rosemary
SAL	Salvia 'Furman's Rose'
GROUNDCOVERS	
TYPE	COMMON NAME
WC	Wintercreeper
SC	Seasonal Color

SP15-0010

REV.	DATE	REMARKS				
<p style="text-align: center;">LANDSCAPE PLAN</p> <p style="text-align: center;">COLONY CENTER</p> <p style="text-align: center;">N.W.C. S.H. 121 & SOUTH COLONY BLVD.</p> <p style="text-align: center;">THE CITY OF THE COLONY, TEXAS</p> <div style="display: flex; justify-content: space-between; align-items: center;">  <div style="text-align: center;"> <p>CATES-CLARK</p> <p>14800 Quorum Drive, Suite 200 Dallas, Texas 75254 Office: 972-385-2272; Fax: 972-989-1627 TBPE F-3751</p> </div> </div>						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
BDA	BDA	06/25/15	1"=40'	BSSM	112-008	L1.2



01 ELEVATION - NORTH

Signature block: The Site Plan shall include the following signature block:

Approved by the City Council on the _____ day of _____, 20____.

Planning Director

Materials & Finishes

Stone

ST-1 Lueders Limestone, Color: Roughback,
Type: Chopped Length
Course Size: 6" (x 18" to 36" length), Bed Depth: 3" to 5".

ST-2 Lueders Limestone

Rough Textured Face, Color: Roughback / Splitface Blend
Type: Sawn 3 sides (top, bottom, back), chopped length,
Course Size: 12" (x 18" to 30" length), Bed Depth: 3" to 5".

ST-4 Lueders Limestone

Rough Textured Face, Color: Roughback / Splitface Blend
Type: Sawn 3 sides (top, bottom, back), chopped length,
Course Size: 24" (x 18" to 30" length), Bed Depth: 3" to 5".

Metal Coping

MC-1 Metal Coping, Scuppers, Downspouts, Manufacturer: Pac Clad,
Color: "Bone White".
MC-2 Metal Coping, Manufacturer: Berridge, Color: "Deep Red".

Metal Awning

MA-1 Metal Awning Manufacturer: Pac Clad, Color: Bone White.

Cast Stone

CS-1 Manufacturer Ref. Specs Color: Buff

Brick / Block

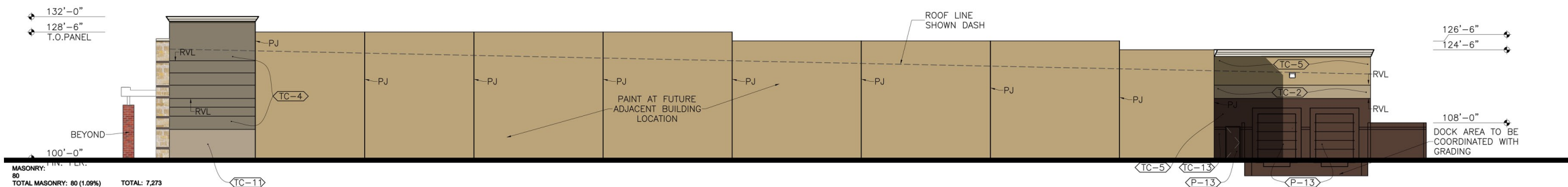
B-1 Acme Brick, Color: Blend #137
Size: Standard Modular or Kingsize Brick
B-3 Endicott Clay Products, Color: Manganese Ironspot
Size: Standard Modular or Kingsize Brick
B-4 Acme Brick, Color: Brookshire
Size: Standard Modular or Kingsize Brick

Texture Coat / Paint / Stucco

TC-1/P-1/SC-1 Benjamin Moore Color: 871 "Pearl River"
TC-2/P-2/SC-2 Glidden Color: A1797 "Obelisk"
TC-4/P-4/SC-4 Benjamin Moore Color: HC-77 "Alexandria Beige"
TC-5/P-5/SC-5 Benjamin Moore Color: 1077 "Great Plains Gold"
TC-11/P-11/SC-11 Glidden Color: A1825 "Palm Springs Tan"
P-13 Benjamin Moore Color: HC-71 "Hasbrouck Brown"
P-14 Benjamin Moore Color: 2099-30 "Espresso"

Storefront

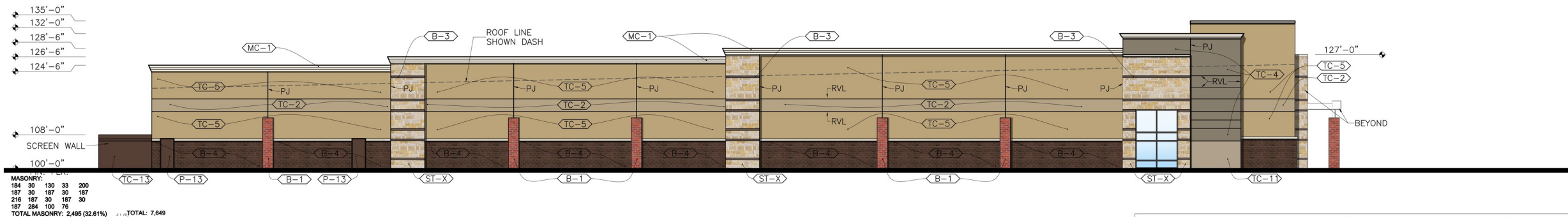
AS-3 Aluminum Storefront
Color: Dark Bronze Finish



02 ELEVATION - EAST



03 ELEVATION - SOUTH



04 ELEVATION - WEST

THE COLONY CENTER (ANCHOR 1)
PROJECT NUMBER:
BUILDING ELEVATIONS
LEGAL DESCRIPTION:
LOT 7, BLOCK A, COLONY CENTER ADDITION

OWNER
COLONY 5 PARTNERS LLC
400 PERIMETER CENTER TERRACE
SUITE 800, ATLANTA, GA 30346
PHONE: 678.338.4566
FAX: 770.352.9953
CONTACT: JEFFREY FINKEL
EMAIL: JFINKEL@ROOMSTOGO.COM

ARCHITECT
HODGES AND ASSOCIATES, P.L.L.C.
13642 OMEGA ROAD
DALLAS, TEXAS 75244
PHONE: 972.387.1000
FAX: 972.960.1129
CONTACT: GERALD LUECKE
EMAIL: GLUECKE@HODGESUSA.COM

COLONY CENTER ANCHOR 1

HWY. 121 & N. COLONY BLVD. - THE COLONY, TEXAS 75056

HODGES & ASSOCIATES
Architecture + Planning + Interiors
www.hodgesusa.com 972.387.1000
13642 Omega, Dallas, TX 75244

NOT FOR REGULATORY
APPROVAL,
PERMITTING, OR
CONSTRUCTION

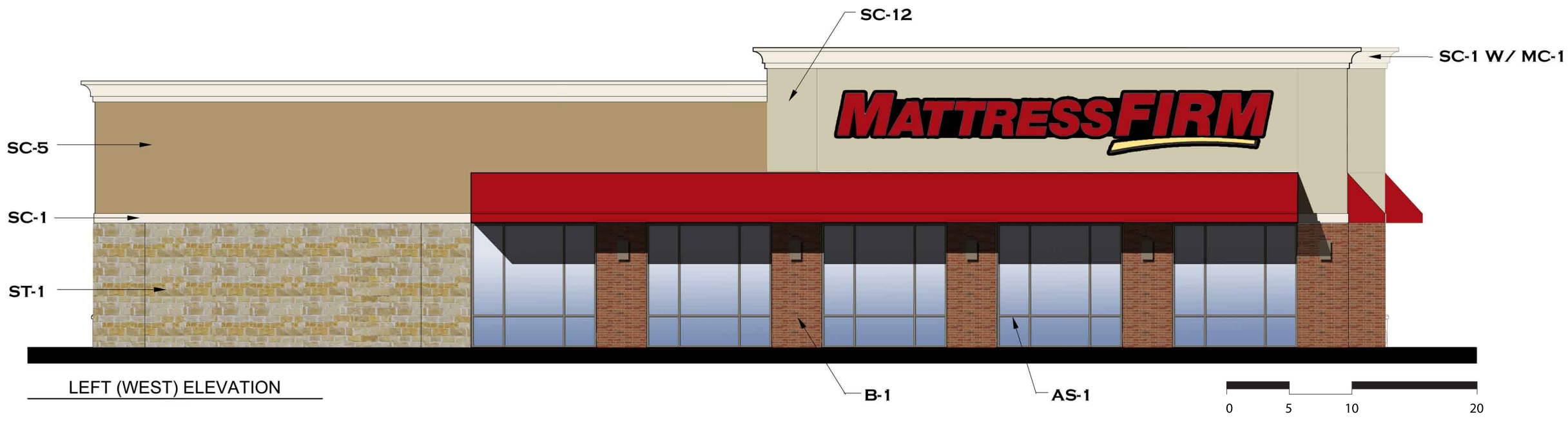
Project Number:
H&A #14044-01
AHJ #000000-XX

Drawn By: _____ Checked By: _____

Issue Log
No Description Date
Review 04.15.15

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A3.1
EXTERIOR
ELEVATIONS



EXTERIOR MATERIAL SCHEDULE	
MATERIAL	FINISHES
ST-1: STONE VENEER	LUEDERS LIMESTONE QUARRIED AND FABRICATED BY MEZGER ENTERPRISES IN LAMPASAS, TX - NO SUBSTITUTIONS, CONTACT: STEVE WALKER (512) 525-6658. STONE MASON MUST BE APPROVED BY MEZGER ENTERPRISES. VENEER - ROUGHTEXTURED FACE - COLOR: ROUGHBACK/SPLITFACE BLEND, TYPE: SAWN 3 SIDES (TOP, BOTTOM, BACK) CHOPPED, LENGTH: COURSE SIZE = 6" (X18" TO 30" LENGTH), BED DEPTH: 3" TO 5". MASONRY MORTAR TO BE 1 BAG (70 POUND) TYPE N WHITE MASONRY CEMENT BY LEHIGH CEMENT COMPANY + 6 OUNCES TEXAS BUFF COLORANT BY LAMBERT COMPANY + 18 SHOVELS OF MORTAR SAND BY CAPITOL AGGREGATES.
B-1: BRICK VENEER	ACME BRICK, COLOR: BLEND #137, SIZE: STANDARD MODULAR
SC-5: EXTERIOR INSULATION FINISH SYSTEM - WALL FIELD AND SOFFITS (UNLESS NOTED OTHERWISE)	DRYVIT SYSTEM "SANDPEBBLE" FINE, COLOR: MATCH BENJAMIN MOORE 1077 "GREAT PLAINS GOLD"
SC-1: EXTERIOR INSULATION FINISH SYSTEM - CORNICE	DRYVIT SYSTEM "SANDPEBBLE" FINE, COLOR: MATCH BENJAMIN MOORE COLOR: 871 "PEARL RIVER"
SC-12: EXTERIOR INSULATION FINISH SYSTEM - REAR/NORTH ELEVATION SIGN BACKGROUND	DRYVIT SYSTEM "SANDPEBBLE" FINE, COLOR: MATCH BENJAMIN MOORE HC-83 "GRANT BEIGE"
SC-1: EXTERIOR INSULATION FINISH SYSTEM - ACCENT BAND	DRYVIT SYSTEM "SANDPEBBLE" FINE, COLOR: MATCH BENJAMIN MOORE 871 "PEARL RIVER"
MC-1: PRE FINISHED METAL FASCIA COVER, SCUPPER TRIM, CONDUCTOR HEADS, SCUPPERS, DOWNSPOUTS.	FACTORY FINISHED: PAC CLAD, COLOR: "BONE WHITE".
LADDER, LADDER COVER, ELECTRICAL GEAR, AND HOLLOW METAL DOOR	BENJAMIN MOORE HC-83 "GRANT BEIGE"
AS-1: ALUMINUM STOREFRONT MULLIONS AND DOORS	CLEAR ANODIZED ALUMINUM WITH CLEAR INSULATING GLASS
PREFABRICATED FABRIC AWNING	SUNBRELLA COLOR: LOGO RED *4666-000

PROPERTY DESCRIPTION: LOT 1, BLOCK A, COLONY CENTER ADDITION

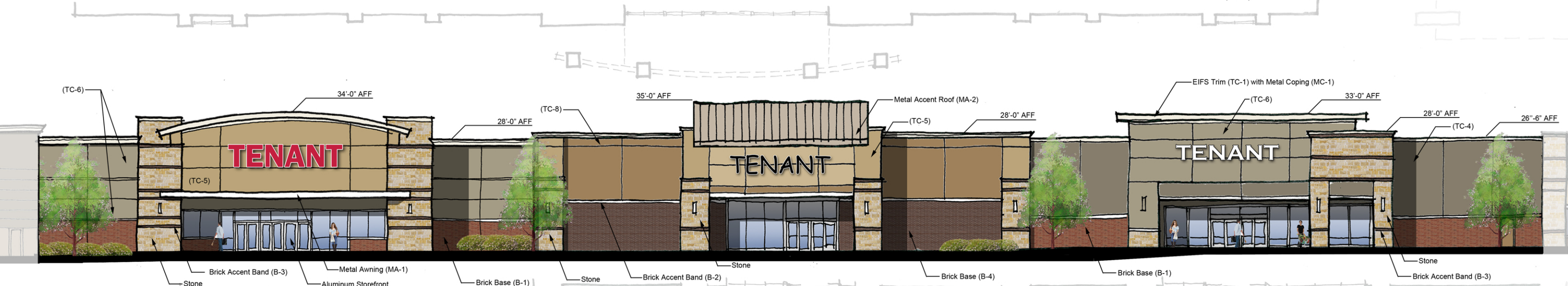
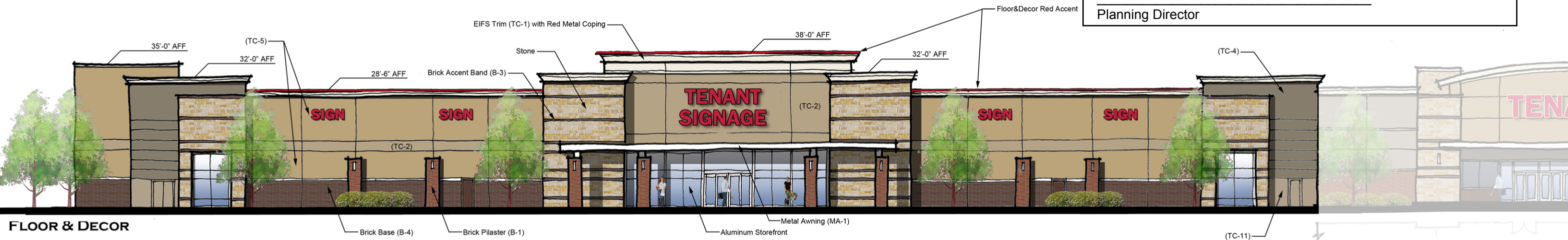
APPROVED BY THE CITY COUNCIL
ON ____ DAY OF ____ 20____.

PLANNING DIRECTOR



ARCHITECTS: 
10877 WATSON ROAD
ST. LOUIS, MO 63127

COLONY 5 PARTNERS, LLC
400 PERIMETER CENTER
TERRACE, SUITE 800
ATLANTA, GEORGIA 30346
(678) 338-4566
CONTACT: JEFF FINKEL



PLANNING AND ZONING COMMISSION REPORT

AGENDA DATE: July 28, 2015

DEPARTMENT: Engineering/Development Services Department

PLANNER: Surupa Sen, AICP, Senior Planner, 972-624-3164

SUBJECT *SP15-0011 Service King Site Plan*

Discuss and consider making a recommendation to City Council on a request for Site Plan for Service King, an automobile body shop, located on Memorial Drive, west of Budget Suites, north of existing the Firestone Tire and Vehicle Service Center located in the Business Park (BP) zoning district.

OWNER/ENGINEER

Owner/Developer:	Kris Ramji	Irving, Texas
Engineer/Surveyor:	ClayMoore Engineering	Bedford, Texas

EXISTING CONDITION OF PROPERTY

The property is currently undeveloped.

PROPOSED DEVELOPMENT

The applicant is proposing to build a 22,461 square foot automobile body shop, Service King, on approximately 2.45 acres, located on Memorial Drive north of existing Firestone Tire and Vehicle Service Center.

ADJACENT ZONING AND LAND USE

North - Business Park (BP), Five Start Sports Complex
South - Business Park (BP), Firestone, Goody Goody Liquor Store
East - Light Commercial (LC) and Business Park (BP), Assured Storage and Budget Suites
West - Business Park (BP), undeveloped land

DEVELOPMENT REVIEW COMMITTEE (DRC) REVIEW

The Development Review Committee (DRC) finds the Site Plan meets the requirements of the Appendix A, Zoning Ordinance, the Gateway Overlay District and other applicable ordinances of the Code of Ordinances as outlined in the Staff Report.

ATTACHMENTS

1. Staff Analysis
2. Location Map
3. Proposed Site Plan
4. Proposed Landscape Plan
5. Building Elevation

ATTACHMENT 1

Staff Analysis

Summary of Request

The applicant is proposing to construct a 22,461 square foot automobile body shop, Service King, on approximately 2.45 acres, located on Memorial Drive north of existing Firestone Tire and Vehicle Service Center.

Existing Condition of Property

The subject property is undeveloped.

Platting Status

The Final Plat for the property is being reviewed by staff.

Adjacent Zoning/Land Use

North - Business Park (BP), Five Start Sports Complex

South - Business Park (BP), Firestone, Goody Goody Liquor Store

East - Light Commercial (LC) and Business Park (BP), Assured Storage and Budget Suites

West - Business Park (BP), undeveloped land

Land Use Analysis

On April 21, 2015, the City Council approved a Specific Use Permit (SUP) for Automobile Repair Garage (inside) uses in the Business Park (BP) zoning district for this property. The application met the SUP Approval Criteria found in Section 10-905 of the Zoning Ordinance.

Gateway Overlay District Amenities

Section 10A-1000, Public Amenities and Standards requires for commercial developments greater than one (1) acre but less than five (5) acres in size incorporate one (1) public amenity. The one amenity can be chosen from the following list, as found in Section 10A-100 (a)(3) of the Gateway Overlay District:

- (A) Patio or Plaza with seating area;
- (B) Landscaped mini-parks, squares or greens;
- (C) Water feature; or
- (D) Outdoor public art.

The applicant has chosen to provide a bench within landscaped square at the northeast corner of the property facing the proposed sidewalk to meet this requirement.

Infrastructure Improvements

The City is not planning any specific public infrastructure improvements other than the infrastructure improvements made by the developer to serve the facility.

Circulation and Parking

The proposed facility will have direct access off of the Memorial Drive through a driveway. Mutual access easements have been provided to the Firestone site south of the subject property. A Traffic Study was required to be completed for the Victory at 121 Center with the submittal of the

Site Plan. A ten foot (10') wide sidewalk and trail is proposed to be built along Memorial Drive in conjunction with this development.

The Zoning Ordinance's parking ratio for vehicle repair is two (2) spaces per service bay and one (1) per employee. The parking provided meets the specific requirements of Section 13, Vehicular Parking, Parking Lot, and On-Site Traffic Regulations of Zoning Ordinance.

Parking Standard	Parking Required	Parking Provided
Parking calculation for Service King: two (2) spaces per service pay and one (1) per employee	100 spaces (4 ADA)	131 spaces (5 ADA)

Landscaping and Irrigation

The applicant is proposing landscaping made up of a combination of Bald Cypress, Shumard Oak, Lacebark Elm and Crape Myrtles to meet the requirements of the Gateway Overlay and Zoning Ordinance. Ten percent (10%) of gross vehicular area has been landscaped as required. For the streetscape buffer, one (1) large canopy tree per 40 linear feet has been provided along with two (2) ornamental trees every fifty (50) linear feet. Perimeter landscaping has been provided and vehicular use areas have been screened from public right-of-way by use of landscaping. An eight foot (8') tall masonry wall is proposed to be erected around entire perimeter.

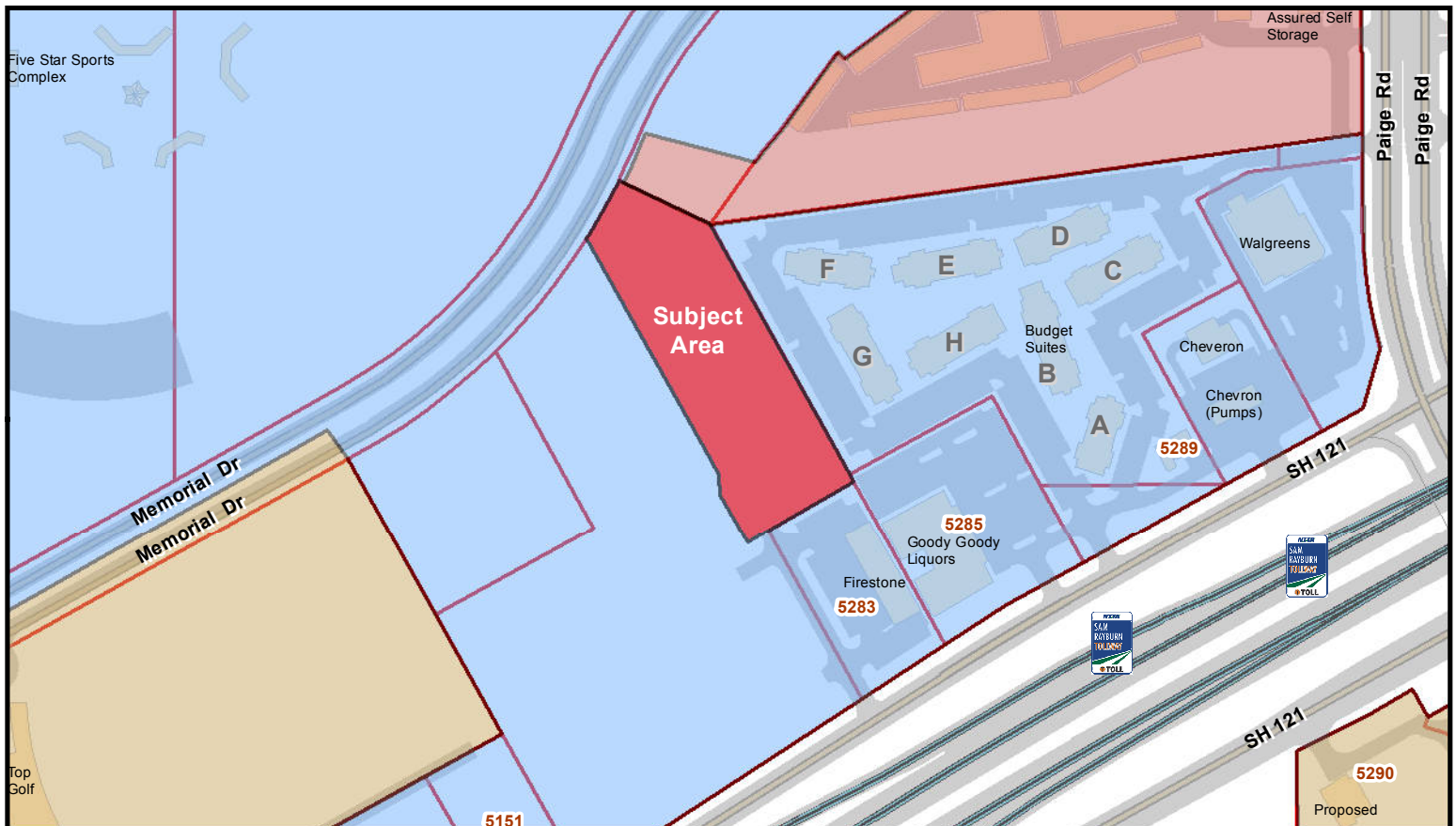
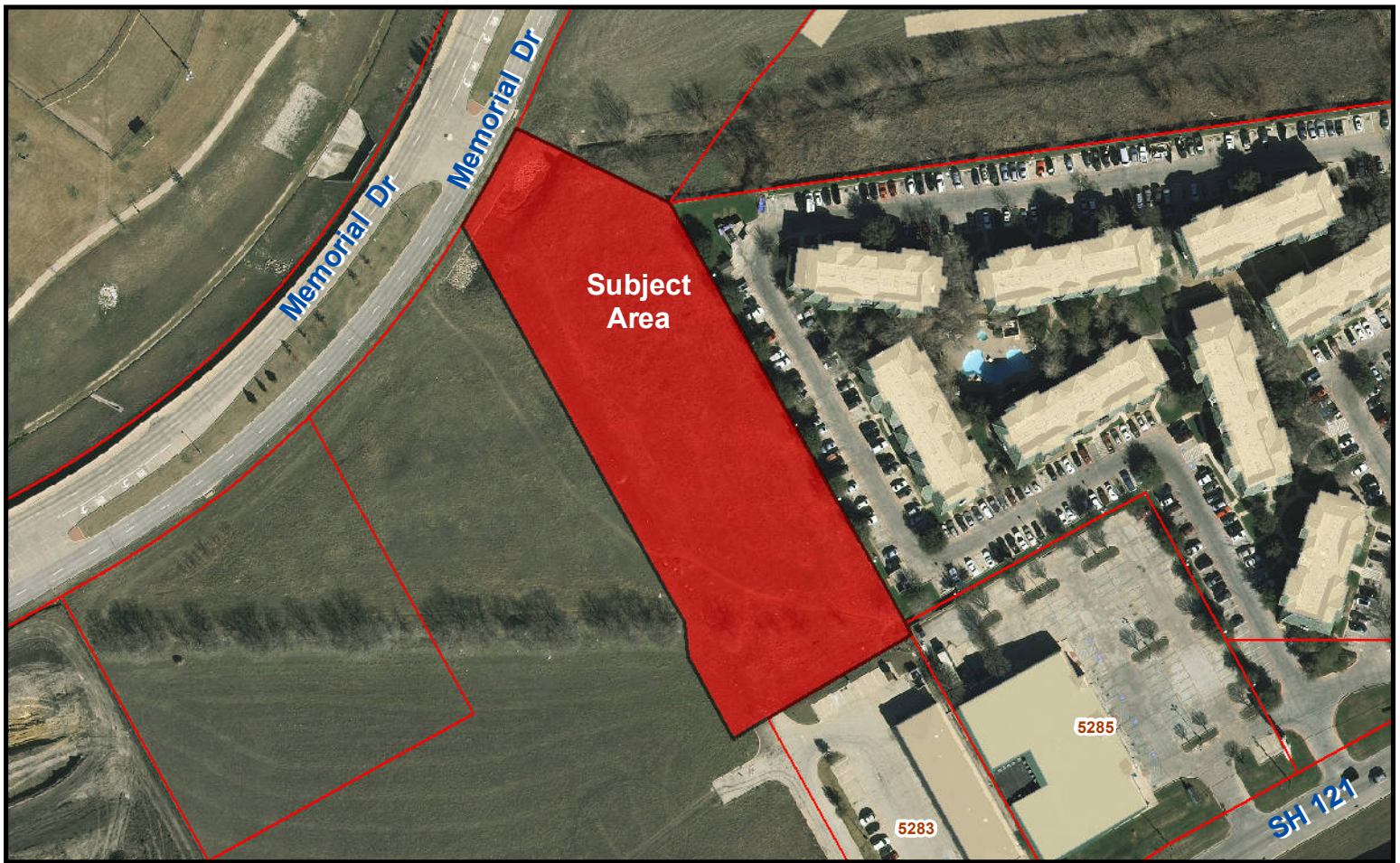
Gateway Landscaping Amenities Requirements

A development between one and three acres in the Gateway Overlay District must provide additional landscaping amenities to meet the requirement of fifteen (15) Landscape Points. The applicant has provided the following landscaping amenities to meet this requirement:

Landscape Amenity	Points Earned
Enhanced Entry Landscape	5 points
Enhanced Site Canopy	5 points
Foundation Planting	5 points
Total Points	15 points

Development Review Committee Review

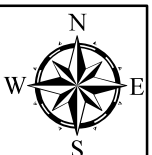
The Development Review Committee finds that the Site Plan meets all applicable requirements of the Zoning Ordinance and Gateway Overlay District, therefore recommends approval.

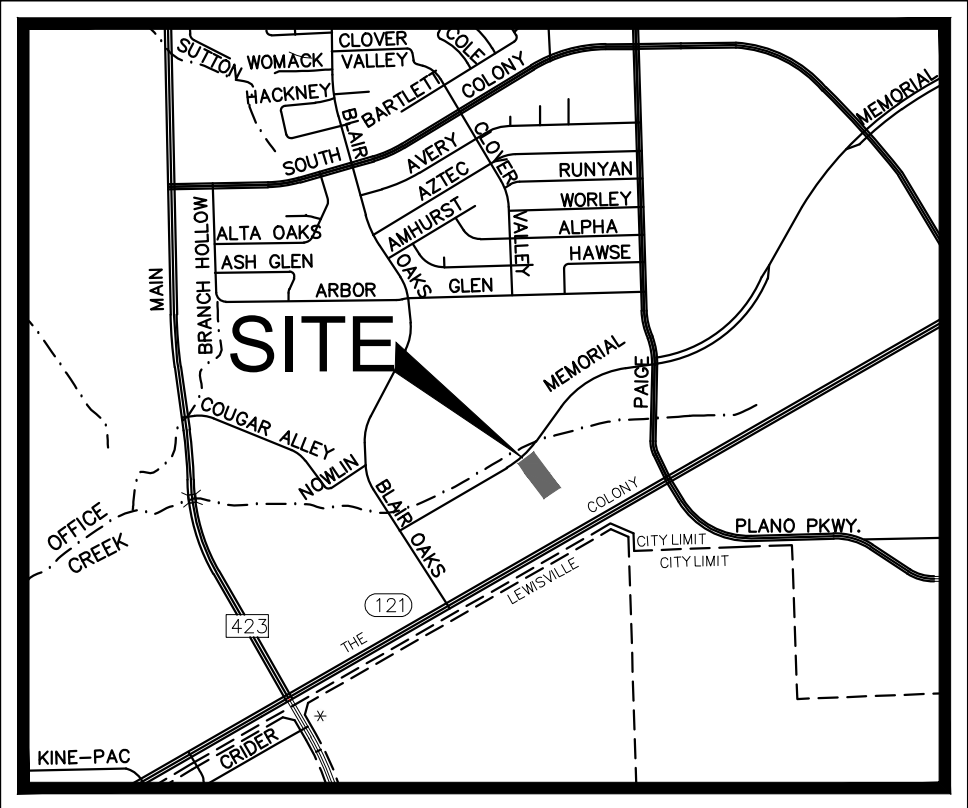
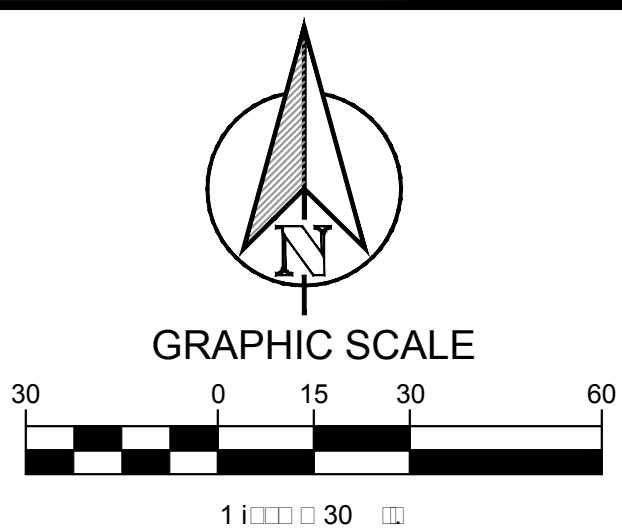
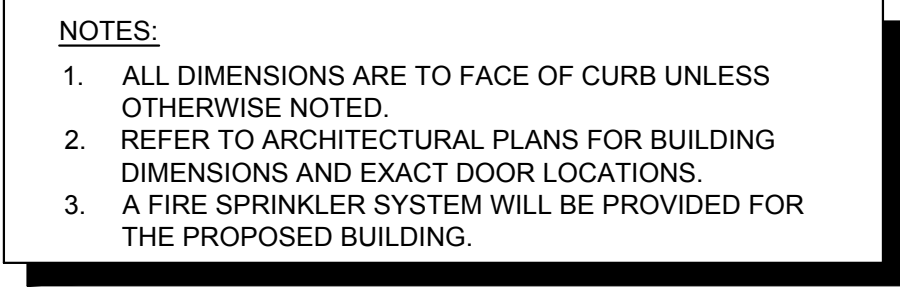


Project No. SP15-0011 - Project Name: Service King










Service King	Business Park/Industrial	Heavy Commercial	Mobile Home	Planned Development	Building Footprints
Agricultural	Duplex Dwelling	Industrial	Neighborhood Service	Shopping Center	
Business Park	General Retail	Light Commercial	Office District 1	Single Family Dwelling	

This map was generated by GIS data provided by The Colony GIS Department. The City of The Colony does not guarantee the correctness or accuracy of any features on this map. These digital products are for illustration purposes only and are not suitable for site-specific decision making.





VICINITY MAP
N.T.S.

LEGEND	
	PROPOSED PARKING COUNT
	EXISTING WATER MAIN
	EXISTING SANITARY SEWER AND MANHOLE
	PROPOSED WATER LINE AND VALVE
	PROPOSED FIRE HYDRANT
	PROPOSED STORM LINE AND INLET
	PROPOSED SANITARY SEWER LINE AND MANHOLE
	PROPOSED UNDERGROUND ELECTRIC
	PROPOSED FIRE LANE STRIPING

SITE DATA TABLE	
LOT AREA	2.45 AC. (106,711 SF)
CURRENT ZONING	BP - BUSINESS PARK
BUILDING AREA	22,461 SF
BUILDING HEIGHT	1 STORY
FLOOR AREA RATIO (FAR)	0.21
PERVIOUS AREA	21,343 SF
IMPERVIOUS AREA	85,368 SF

PARKING TABLE	
VEHICLE REPAIR 2 SPACES PER SERVICE BAY <input type="checkbox"/> 1 PER EMPLOYEE	
TOTAL PARKING REQUIRED (PER SERVICE KING):	100 SPACES (4 ADA)
TOTAL PARKING PROVIDED:	131 SPACES (5 ADA)

SITE PLAN
LOT 3, BLOCK A
EAST OAK WOOD VILLAGE
THE COLONY, DENTON COUNTY,
TEXAS
2.45 ACRES
JULY 2, 2015

APPLICANT:
CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DR.
SUITE #406
BEDFORD, TX 76021
PH. 817.281.0572
FAX 817.281.0574
CONTACT: MATT MOORE, PE
EMAIL: MATT@CLAYMOOREENG.COM

ARCHITECT:
CARROLL ARCHITECT, INC.
750 E. INTERSTATE 30, STE. 110
ROCKWALL, TX 75087
PHONE: 972.732.6085
FAX: 972.732.8058
CONTACT: JEFFREY CARROLL

PREPARED BY:
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EMAIL: MATT@CLAYMOOREENG.COM

DEVELOPER:
STREETLEVEL
5950 BERKSHIRE LANE
SUITE 700
DALLAS, TX 75225
PHONE: 214.545.6934
FAX: 214.545.6905
CONTACT: JUSTIN COOLEY

CITY FILE NO. SP15-0011

P R E L I M I N A R Y

FOR REVIEW ONLY
Not for construction purposes.

CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING
CONSULTANTS

Engineer MATT MOORE

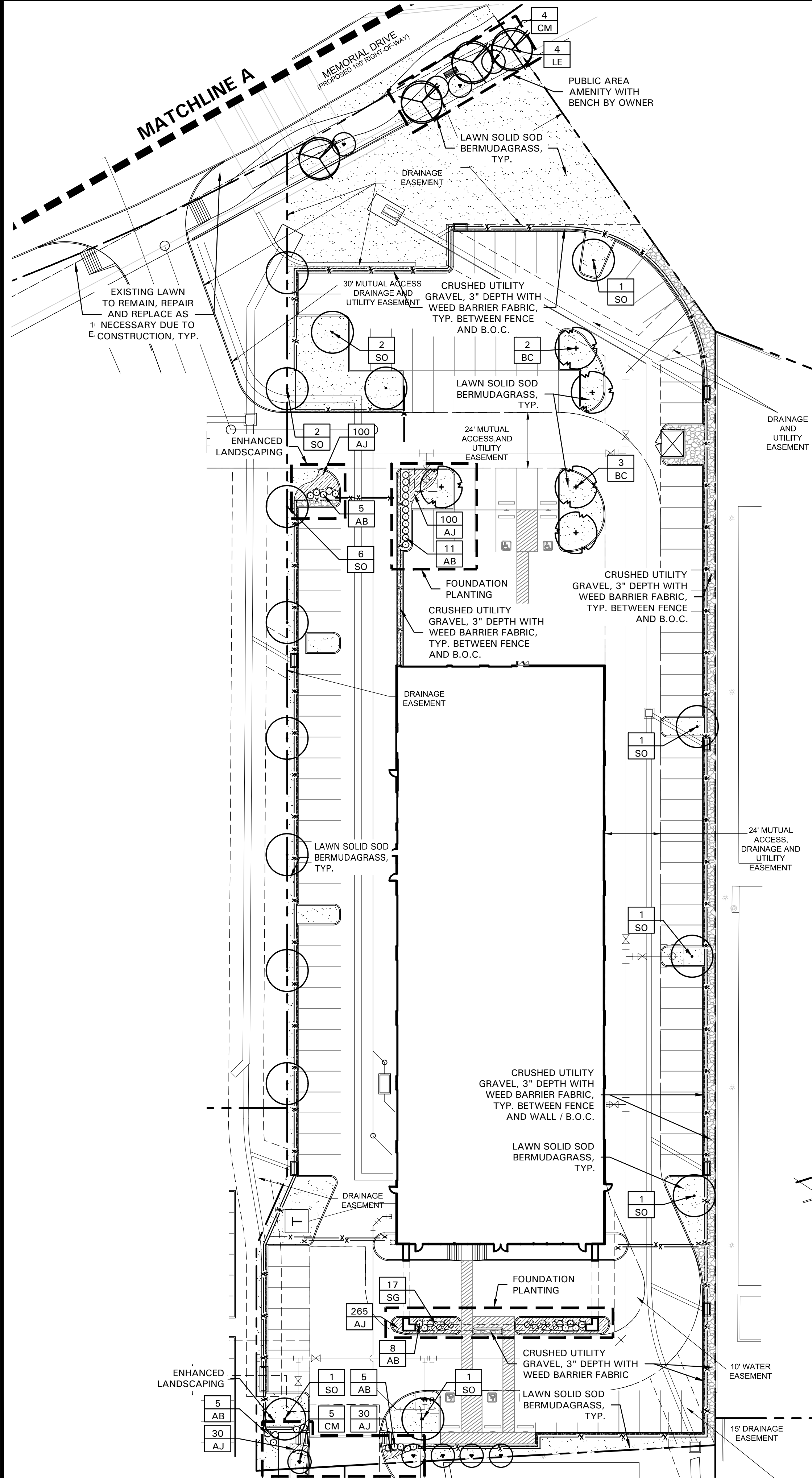
P.E. No. 95813 Date 07/15/2015

**SERVICE KING
MEMORIAL DRIVE
THE COLONY, TEXAS**

SITE PLAN

BJK
BJK
MAM
07/15/2015

SP-1



LANDSCAPE NOTES

1. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
2. CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
3. CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
4. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
5. ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
6. TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
7. ALL LAWN AREAS SHALL BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
8. ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
9. CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

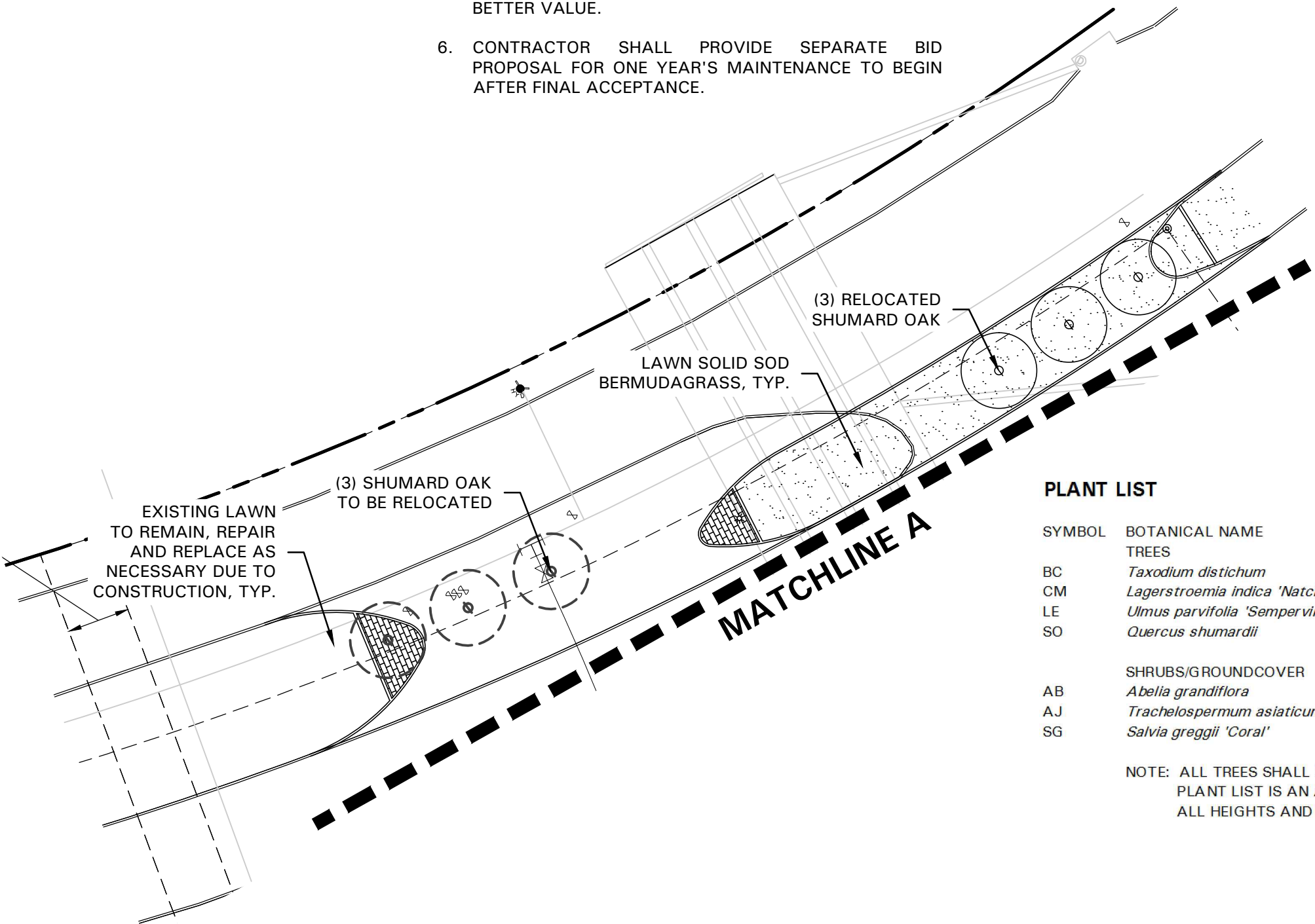
1. THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
2. ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
3. ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
4. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
5. ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
6. CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

GENERAL LAWN NOTES

1. CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
2. CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
3. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
4. ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
5. CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
6. CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
7. CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

SOLID SOD NOTES

1. PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
2. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
3. WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
4. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMUDAGRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

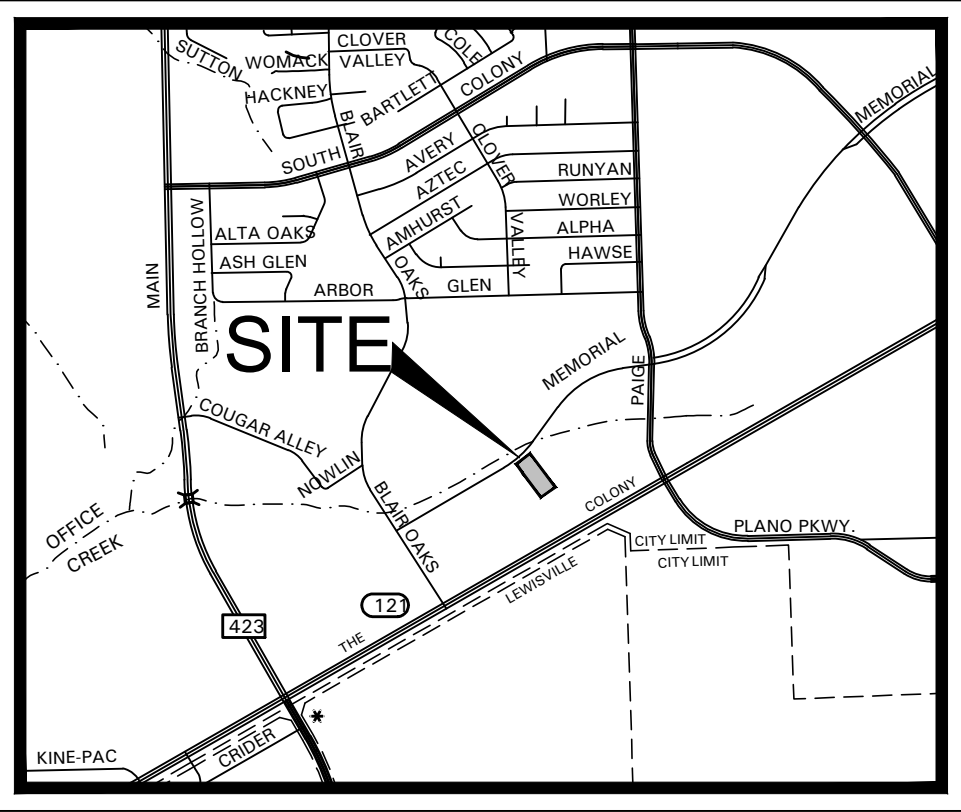


PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
TREES					
BC	<i>Taxodium distichum</i>	Bald Cypress	5	3" cal.	container grown, 12" ht., 4" spread, 4" branching ht., matching
CM	<i>Lagerstroemia indica</i> 'Natchez'	Crape Myrtle 'Natchez'	9	30 gal.	container grown, 3-5 trunk, no cross canes, 8' ht., 4" spread, matching
LE	<i>Ulmus parvifolia</i> 'Sempervirens'	Lacebark Elm	4	3" cal.	container grown, 12" ht., 4" spread, 4" branching ht., matching
SO	<i>Quercus shumardii</i>	Shumard Red Oak	17	3" cal.	container grown, 12" ht., 4" spread, 4" branching ht., matching
SHRUBS/GROUND COVER					
AB	<i>Abelia grandiflora</i>	Glossy Abelia	34	5 gal.	container full, 24" height, 36" o.c.
AJ	<i>Trachelospermum asiaticum</i>	Asian Jasmine	525	4" pots	container (3) 12" runners min., 12" o.c.
SG	<i>Salvia greggii</i> 'Coral'	Salvia Greggii 'Coral'	17	5 gal.	container full, 20" spread 24" o.c.

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN.
ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.

VICINITY MAP
NOT TO SCALE



LANDSCAPE TABULATIONS

THE CITY OF THE COLONY, TEXAS - GATEWAY OVERLAY

INTERIOR LANDSCAPE

1. A minimum of ten (10) percent of the gross vehicular area shall be devoted to living landscape.
2. One (1) large canopy tree planted for each 400 square feet of required interior landscape area.

Vehicular area: 59,888 s.f.	
Required 5,989 s.f. (10%) (15) trees, 3" cal.	Provided 5,995 s.f. (10%) (15) trees, 3" cal.

STREETSCAPE LANDSCAPE BUFFER

1. One (1) large canopy tree every forty (40) linear feet and two (2) ornamental trees every fifty (50) linear feet.

Memorial Drive: 104 l.f.

Required (3) trees, 3" cal. (4) ornamental trees 3' screen	Provided (3) trees, 3" cal. (4) ornamental trees 8' ht. masonry wall
---	---

PERIMETER LANDSCAPE

1. One (1) ornamental tree every fifty (50) linear feet.
2. Vehicular use areas shall be screened from public right-of-way with a wall, fence, berm, evergreen hedge or other durable landscape barrier. They shall be a minimum of three (3) feet in height.

South Property Line: 198 l.f.

Required (4) ornamental trees 3' screen	Provided (5) ornamental trees 8' ht. masonry wall
---	---

GATEWAY OVERLAY POINTS

1. Site: Between 1 and 3 acres (15 Points required)
Enhanced landscaping: 5 Points
Enhanced site canopy: 5 Points
Foundation planting: 5 Points
One (1) public area amenity

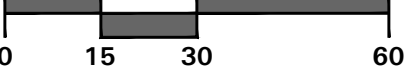
Required 15 points Green space w/ bench	Provided 15 points Green space w/ bench
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*Property includes an 8' ht. masonry wall around entire perimeter.

PROJECT #: SUP15-00002



SCALE: 1" = 30'-0"

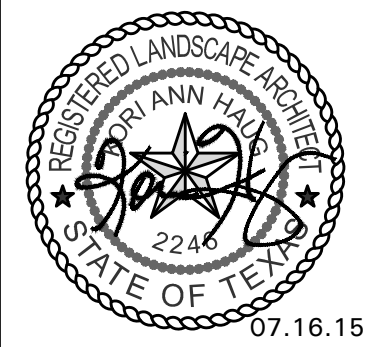


- 4245 North Central Expy
- Suite 501
- Dallas, Texas 75205
- 214.865.7192 office

TEXAS REGISTRATION #14190

CLAY MOORE
ENGINEERING

PHONE: 972.281.0292
1900 CENTRAL DRIVE, SUITE #405
BECKLEY, TX 76008
WWW.CLAYMOOREENGINEERING.COM



SERVICE KING
MEMORIAL DRIVE
THE COLONY, TEXAS

NO.	DATE	REVISION	CITY COMMENTS	APL	BY
1	7.15.15				

LANDSCAPE PLAN

DESIGN: APL
DRAWN: APL
CHECKED: KAH
DATE: 05/28/15

SHEET

L1.01

File No. 2015-

SECTION 32 9300 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

- A. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

- A. Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

- Planting (trees, shrubs and grasses)
- Bed preparation and fertilization
- Notification of sources
- Water and maintenance until final acceptance
- Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) – plant material
- B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- C. Texas Association of Nurserymen, Grades and Standards
- D. Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- A. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel and crushed stone. Samples shall be approved by Owner's Authorized Representative before use on the project.

1.5 JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below final finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the final finish grade of sidewalks, drives and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
- The Landscape Contractor shall be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show healthy growth and satisfactory foliage conditions.
 - Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
 - A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by the Owner's Authorized Representative will be completed prior to written acceptance.
- B. Guarantee:

- Trees, shrubs and groundcover shall be guaranteed for a twelve (12) month period after final acceptance. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry have been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
 - Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:
 - At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
 - When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and re-inspected for full compliance with the contract requirements. All replacements are to be included under "Work" of this section.
- The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
- The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
- Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a complete, undamaged condition and there is a stand of grass in all lawn areas. At that time, the Owner will assume maintenance on the accepted work.

- C. Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting. In the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense to the Landscape Contractor.

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable federal, state, county and local regulations governing landscape materials and work.
- B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- C. Selection of Plant Material:
- Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will ensure the purchased materials will meet and / or exceed project specifications.
 - Substitutions: Do not make plant material substitutions. If the specified landscape material is not obtainable, submit proof of non-availability to Landscape Architect, together with proposal for use of equivalent material. At the time bids are submitted, the Contractor is assumed to have located the materials necessary to complete the job as specified.
 - Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
 - Measurements: Measure trees with branches and trunks or canes in their normal position. Do not prune to obtain required sizes. Take caliper measurements six inches above ground for trees up to and including 4" caliper size, and twelve inches above ground for larger sizes. Measure main body of all plant material of height and spread dimensions,

do not measure from branch or root tip-to-tip.

- Owner's Authorized Representative shall inspect all plant material with requirements for genus, species, cultivar / variety size and quality.
- Owner's Authorized Representative retains the right to further inspect all plant material upon arrival to the site and during installation for size and condition of root balls and root systems, limbs, branching habit, insects, injuries and latent defects.
- Owner's Authorized Representative may reject unsatisfactory or defective material at any time during the process work. Remove rejected materials immediately from the site and replace with acceptable material at no additional cost to the Owner. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

A. Preparation:

- Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape and future development.
- Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

B. Delivery:

- Deliver packaged materials in sealed containers showing weight, analysis and name of Manufacturer. Protect materials from deterioration during delivery and while stored on site.
- Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
- Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
- Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
- Notify Owner's Authorized Representative of delivery schedule 72 hours in advance job site.
- Remove rejected plant material immediately from job site.
- To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Owner's Authorized Representative and his decision as to their acceptability shall be final.
- B. Quantities: The drawings and specifications are complimentary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae, and are to be of specimen quality.
- D. Approval: All plants which are found unsuitable in growth, or are in any unhealthy, badly shaped or undersized condition will be rejected by the Owner's Authorized Representative either before or after planting and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plant as

specified at no additional cost to the Owner.

- Trees shall be healthy, full-branched, well-shaped, and shall meet the minimum trunk and diameter requirements of the plant schedule. Balls shall be firm, neat, slightly tapered and well wrapped in burlap. Any tree loose in the ball or with a broken root ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter, measured six (6") inches above ball. (Nomenclature confirms to the customary nursery usage. For clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.)
- Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect prior to final acceptance, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

A. Sandy Loam:

- Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
- Physical properties as follows:
 - Clay – between 7-27 percent
 - Silt – between 15-25 percent
 - Sand – less than 52 percent
- Organic matter shall be 3%-10% of total dry weight.
- If requested, Landscape Contractor shall provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.

- B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
- C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.

- F. Organic Fertilizer: Ferti-laid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- G. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulfur and 4% iron, plus micronutrients.
- H. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

- A. Steel Edging: 3/16" x 4" x 16" - dark green, DURAEDGE® steel landscape edging manufactured by The J.D. Russell Company under its trade name DURAEDGE-Heavy Duty Steel.
- B. Staking Material for Shade Trees: refer to details.
- C. Gravel: Washed native pea gravel, graded 1 inch to 1-1/2 inch.
- D. Filter Fabric: 'Mirafri Mirascape' by Mirafri Construction Products available at Lone Star Products, Inc., (469) 523-0444 or approved equal.
- E. River Rock: 'Colorado' or native river rock, 2" - 4" dia.

- F. Decomposed Granite: Base material shall consist of a natural material mix of granite aggregate not to exceed 1/8" diameter in size and shall be composed of various stages of decomposed earth base.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.

B. All planting areas shall be conditioned as follows:

- Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per Manufacturer's recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
- All planting areas shall receive a two (2") inch layer of specified mulch.
- Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.

C. Grass Areas:

- Blocks of sod should be laid joint to joint (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.

3.2 INSTALLATION

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- B. Plant materials shall be delivered to the site only after the beds are prepared and areas are ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- C. Position the trees and shrubs in their intended location as per plan.
- D. Notify the Owner's Authorized Representative for inspection and approval of all positioning of plant materials.
- E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that,when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.
- F. Shrub and tree pits shall be no less than twenty-four (24") inches wider than the lateral dimension of the earth ball and six (6") inches deeper than it's vertical dimension. Remove and haul from site all rocks and stones over three-quarter (¾") inch in diameter. Plants should be thoroughly moist before removing containers.
- G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.
- H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per

tree planting detail as approved by the Landscape Architect if the percolation test fails.

- Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top ½ of the ball, as well as all nylon, plastic string and wire. Container trees will usually be root bound, if so follow standard nursery practice of 'root scoring'.
- Do not wrap trees.
- Do not over prune.
- Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.
- All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.
- Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3) feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
- Trees and large shrubs shall be staked as site conditions require. Position stakes to secure trees against seasonal prevailing winds.
- Pruning and Mulching: Pruning shall be directed by the Landscape Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class I pruning standards provided by the National Arborist Association.

- Dead wood, suckers, broken and badly bruised branches shall be removed. General tipping of the branches is not permitted. Do not cut terminal branches.
- Pruning shall be done with clean, sharp tools.

- Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limits the organic material for trees shall be the diameter of the plant pit.

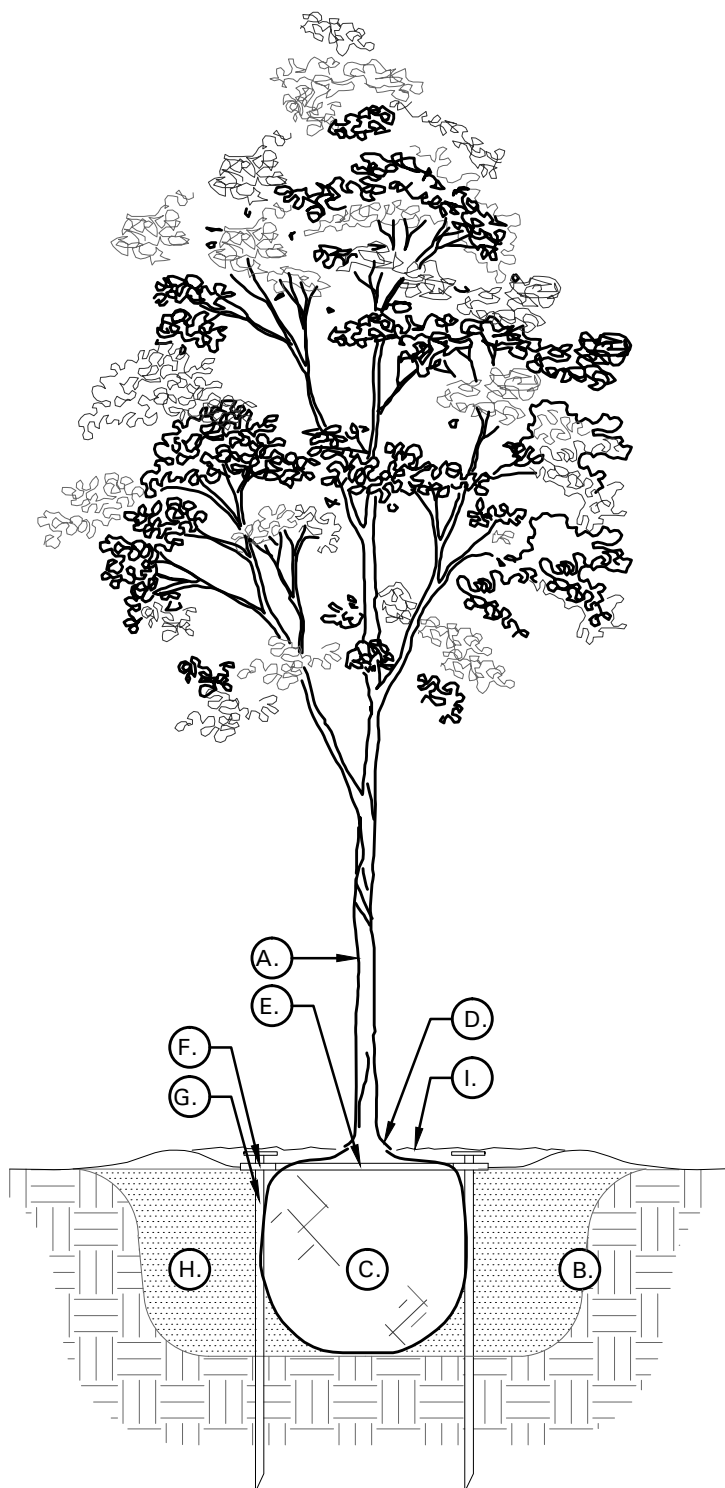
Q. Steel Curbing Installation:

- Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.
- All steel curbing shall be free of kinks and abrupt bends.
- Top of curbing shall be ½" maximum height above final finished grade.
- Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
- Do not install steel edging along sidewalks or curbs.

3.3 CLEANUP AND ACCEPTANCE

- A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized so that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing them at end of each work day.

END OF SECTION



01 TREE PLANTING DETAIL
NOT TO SCALE

TREE PLANTING DETAIL LEGEND
AND NOTES

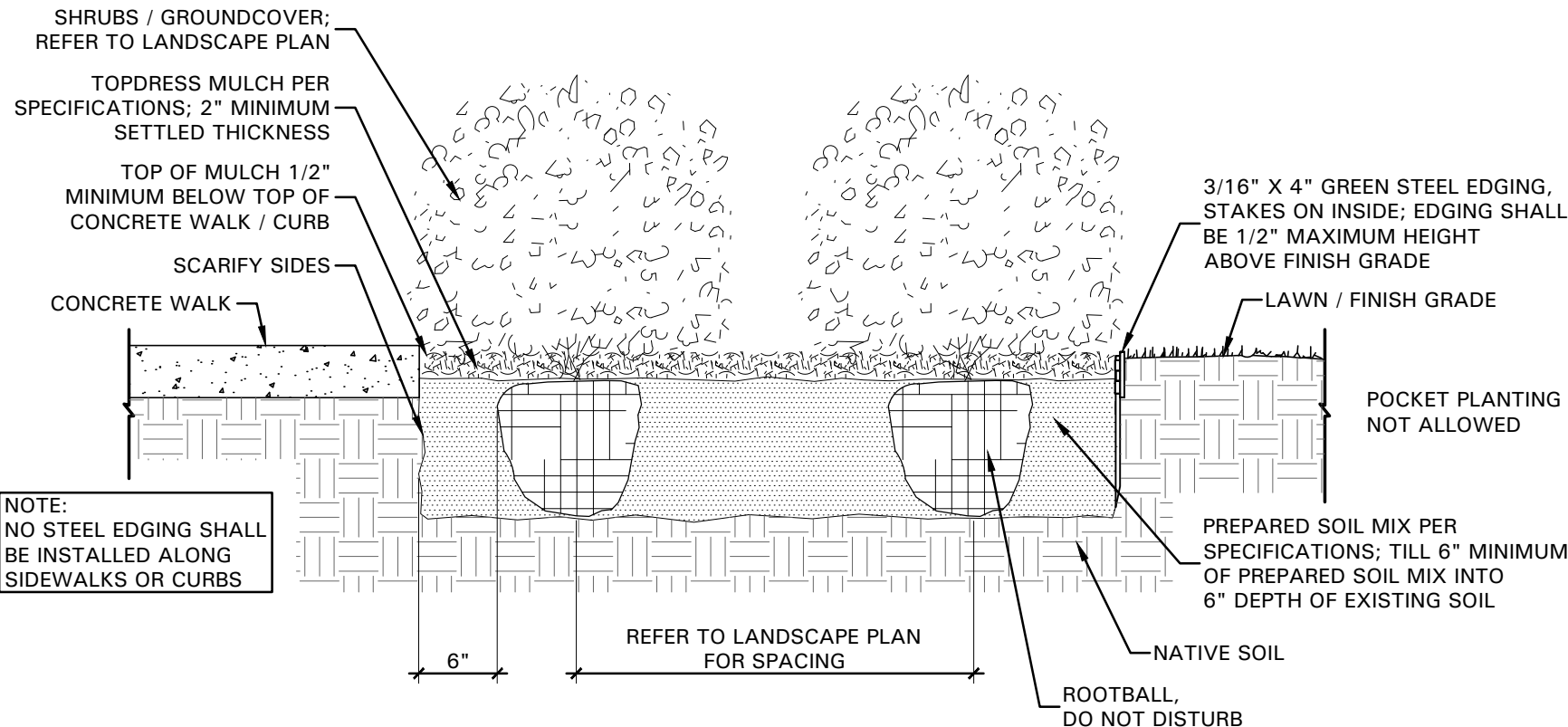
- A. TREE: TREES SHALL CONFORM WITH LATEST AMERICAN STANDARD FOR NURSERY STOCK. www.anla.org
- B. TREE PIT: WIDTH TO BE AT LEAST TWO (2) TIMES THE DIAMETER OF THE ROOT BALL CENTER TREE IN HOLE & REST ROOT BALL ON UNDISTURBED NATIVE SOIL.
- C. ROOT BALL: REMOVE TOP ½ BURLAP AND ANY OTHER FOREIGN OBJECT; CONTAINER GROWN STOCK TO BE INSPECTED FOR GIRDLING ROOTS.
- D. ROOT FLARE: ENSURE THAT ROOT FLARE IS EXPOSED, FREE FROM MULCH, AND AT LEAST TWO INCHES ABOVE GRADE. TREES SHALL BE REJECTED WHEN GIRDLING ROOTS ARE PRESENT & ROOT FLARE IS NOT APPARENT.
- E. ROOTBALL ANCHOR RING: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. PLACE ROOTBALL ANCHOR RING ON BASE OF ROOTBALL. TRUNK SHOULD BE IN THE CENTER OF THE RING.
- F. 'U' BRACKET.
- G. NAIL STAKE: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. INSTALL NAIL STAKES WITH HAMMER OR MALLET FIRMLY INTO UNDISTURBED GROUND. DRIVE NAIL STAKES FLUSH WITH 'U' BRACKET ADJACENT TO ROOTBALL (DO NOT DISTURB ROOTBALL).

- H. BACKFILL: USE EXISTING NATIVE SOIL (no amendments) WATER THOROUGHLY TO ELIMINATE AIR POCKETS.

- I. MULCH: DOUBLE SHREDDED HARDWOOD MULCH 2 INCH SETTLED THICKNESS WITH 2" HT. WATERING RING; ENSURE THAT ROOT FLARE IS EXPOSED. BELOW GROUND STAKE SHOULD NOT BE VISIBLE.

- J. TREE STAKES: TREE STAKE SOLUTIONS 'SAFETY STAKE' BELOW GROUND MODEL AVAILABLE FROM: Tree Stake Solutions ATTN: Jeff Tuley (903) 676-6143 jeff@treestakesolutions.com www.treestakesolutions.com

- K. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A COPY OF THE MANUFACTURER'S SPECIFICATIONS PRIOR TO INSTALLATION OF TREE STAKES. CONTRACTOR SHALL ADHERE TO MANUFACTURER'S INSTALLATION GUIDELINES, SPECIFICATIONS, AND OTHER REQUIREMENTS FOR TREE STAKE INSTALLATION.



02 SHRUB / GROUNDCOVER DETAIL
NOT TO SCALE



• 4245 North Central Expy
• Suite 501
• Dallas, Texas 75205
• 214.865.7192 office



07.16.15

SERVICE KING
MEMORIAL DRIVE
THE COLONY, TEXAS

BY	DATE	REVISION	APL
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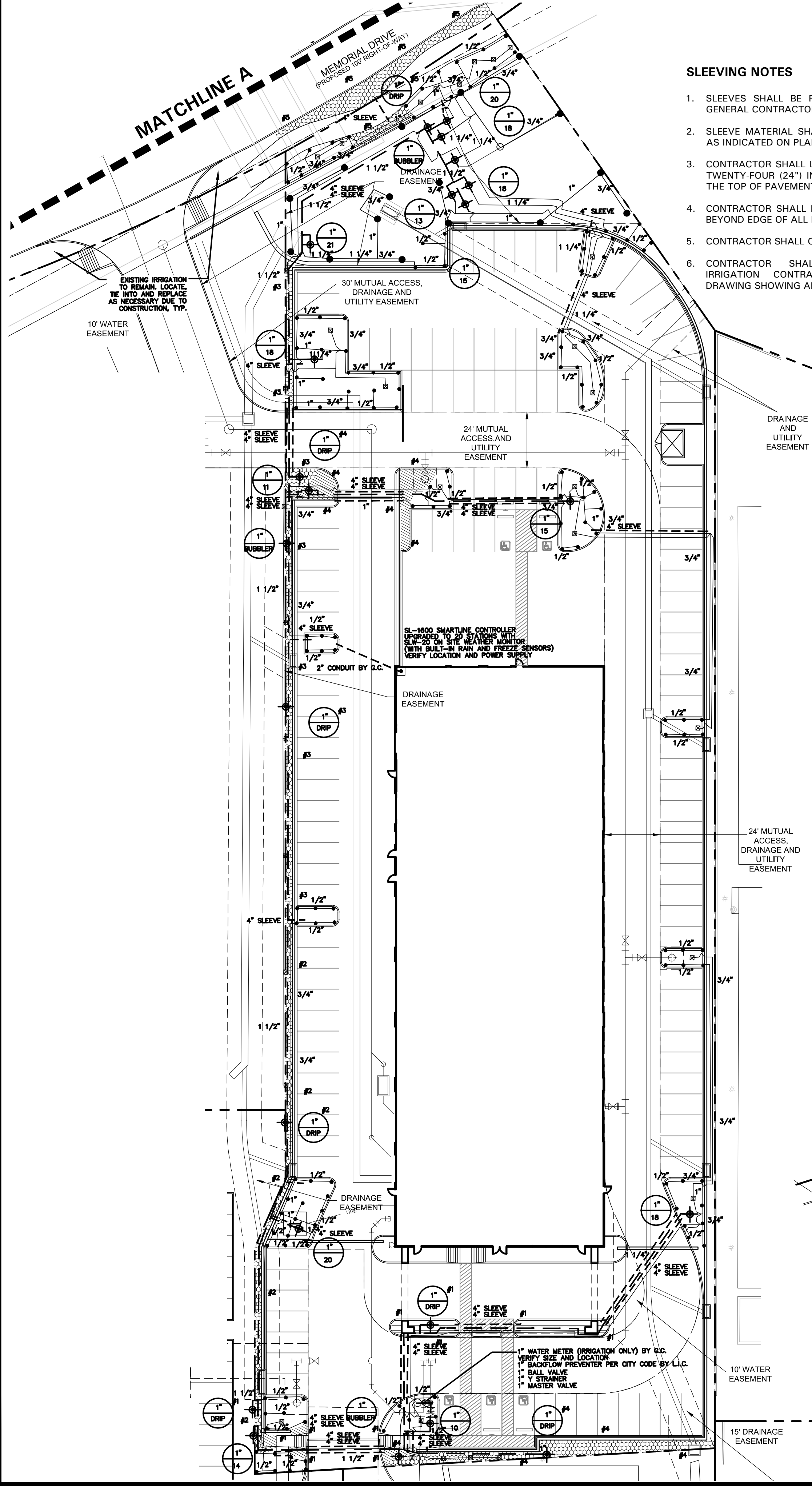
LANDSCAPE
SPECIFICATIONS
AND DETAILS

DESIGN:	APL
DRAWN:	APL
CHECKED:	KAH
DATE:	05/28/15

SHEET

L1.02

File No. 2015-



SLEEVING NOTES

- SLEEVES SHALL BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR.
- SLEEVE MATERIAL SHALL BE SCHEDULE 40 PIPE, SIZE AS INDICATED ON PLAN.
- CONTRACTOR SHALL LAY SLEEVES AND CONDUITS AT TWENTY-FOUR (24") INCHES BELOW FINISH GRADE OF THE TOP OF PAVEMENT.
- CONTRACTOR SHALL EXTEND SLEEVES ONE (1') FOOT BEYOND EDGE OF ALL PAVEMENT.
- CONTRACTOR SHALL CAP PIPE ENDS USING PVC CAPS.
- CONTRACTOR SHALL FURNISH OWNER AND IRRIGATION CONTRACTOR WITH AN 'AS-BUILT' DRAWING SHOWING ALL SLEEVE LOCATIONS.

IRRIGATION NOTES

- THE IRRIGATION CONTRACTOR SHALL COORDINATE INSTALLATION OF THE IRRIGATION SYSTEM WITH THE LANDSCAPE CONTRACTOR SO THAT ALL PLANT MATERIAL WILL BE WATERED IN ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS.
- ALL SPRINKLER EQUIPMENT NUMBERS REFERENCE THE WEATHERMATIC EQUIPMENT CATALOG UNLESS OTHERWISE INDICATED.
- TEN DAYS PRIOR TO START OF CONSTRUCTION, IRRIGATION CONTRACTOR SHALL VERIFY STATIC WATER PRESSURE. IF STATIC PRESSURE IS LESS THAN 65 P.S.I., NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY. DO NOT WORK UNTIL NOTIFIED TO DO SO BY OWNER.
- SLEEVES SHALL BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR. SLEEVE MATERIAL SHALL BE SCHEDULE 40, SIZE AS INDICATED ON PLAN. REFER TO SLEEVING NOTES.
- ALL MAIN LINE AND LATERAL LINE PIPING IN PLANTING AND LAWN AREAS SHALL HAVE A MINIMUM OF 12 INCHES OF COVER. ALL PIPING UNDER PAVING SHALL HAVE A MINIMUM OF 18 INCHES OF COVER. CONTRACTOR TO VERIFY LOCAL FREEZE DEPTHS AND ADJUST DEPTH OF COVER ACCORDINGLY.
- LAWN SPRAY HEADS SHALL BE WEATHERMATIC LX-4 INSTALLED PER DETAIL SHOWN.
- ROTOR HEADS SHALL BE WEATHERMATIC TURBO INSTALLED PER DETAIL SHOWN. (WITH BUILT-IN CHECK VALVE)
- NOZZLES SHALL BE WEATHERMATIC 5500 SERIES, UNLESS OTHERWISE NOTED. IRRIGATION CONTRACTOR SHALL SELECT THE PROPER ARC AND RADIUS FOR EACH NOZZLE TO ENSURE 100% AND PROPER COVERAGE OF ALL LAWN AREAS AND PLANT MATERIAL. NO WATER SHALL SPRAY ON BUILDING.
- ALL NOZZLES IN PARKING LOT ISLANDS AND PLANTING BEDS SHALL BE LOW ANGLE NOZZLES TO MINIMIZE OVER SPRAY ON PAVEMENT SURFACES.
- ELECTRIC CONTROL VALVES SHALL BE WEATHERMATIC 11000 SERIES INSTALLED PER DETAIL SHOWN. SIZE OF VALVES AS SHOWN ON PLAN. VALVES SHALL BE INSTALLED IN VALVE BOXES LARGE ENOUGH TO PERMIT MANUAL OPERATION. REMOVAL OF SOLENOID AND / OR VALVE COVER WITHOUT ANY EARTH EXCAVATION.
- QUICK COUPLING VALVES SHALL BE WEATHERMATIC QV75 INSTALLED PER DETAIL SHOWN. SWING JOINTS SHALL BE CONSTRUCTED USING 3/4" SCHEDULE 80 ELBOWS. CONTRACTOR SHALL SUPPLY OWNER WITH THREE (3) CH75 COUPLERS AND THREE (3) #10HSL SWIVEL HOSE ELLS AS PART OF THIS CONTRACT.
- ALL 24 VOLT VALVE WIRING TO BE UP 14 GAUGE SINGLE CONDUCTOR. ALL WIRE SPLICES ARE TO BE PERMANENT AND WATERPROOF.
- AUTOMATIC CONTROLLER SHALL BE INSTALLED AT LOCATION SHOWN. POWER (120V) SHALL BE LOCATED IN A JUNCTION BOX WITHIN FIVE (5') FEET OF CONTROLLER. LOCATION BY OTHER TRADES. RAIN AND FREEZE SENSORS SHALL BE INSTALLED WITH EACH CONTROLLER.
- THE DESIGN PRESSURE IS 65 PSI.
- ELECTRICAL SPLICES AT EACH VALVE AND CONTROLLER ONLY.
- IRRIGATION IN TEXAS IS REGULATED BY: THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) MC-178 / PO BOX 13087 AUSTIN, TEXAS 78711-3087
- TCEQ'S WEBSITE IS WWW.TCEQ.STATE.TX.US.

IRRIGATION LEGEND

- WEATHERMATIC LX-4 POP-UP LAWN HEAD
- HUNTER MP ROTATOR NOZZLE
- WEATHERMATIC TURBO ROTARY FC
- WEATHERMATIC TURBO ROTARY PC
- WEATHERMATIC 106.5 BUBBLER (2 PER TREE, TYP.)
- WEATHERMATIC 11000 SERIES ELECTRIC VALVE
- WEATHERMATIC QV75 QUICK COUPLER
- CONTROLLER, SIZE AS INDICATED
- WATER METER, SIZE AS INDICATED WITH D.C.A., SIZE AS INDICATED
- PVC SCHEDULE 40 SLEEVING
- PVC CLASS 200 MAINLINE
- PVC CLASS 200 LATERAL LINE
- VALVE SIZE GPM
- NETAFIM TECHLINE#TDL6-1210 (18" LATERAL SPACING, 12" EMITTER SPACING) PVC LATERAL PIPING SIZED AS REQUIRED INSTALL ALL EQUIPMENT ACCORDING TO MANUFACTURERS SPECIFICATIONS
- NETAFIM TECHLINE#TDL6-1210 (18" LATERAL SPACING, 12" EMITTER SPACING) PVC LATERAL PIPING SIZED AS REQUIRED INSTALL ALL EQUIPMENT ACCORDING TO MANUFACTURERS SPECIFICATIONS
- NETAFIM DISC FILTER #DF100-080 NETAFIM PRESSURE REGULATOR #PRV15025 INSTALL ALL EQUIPMENT ACCORDING TO MANUFACTURERS SPECIFICATIONS

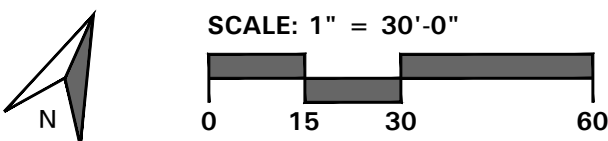
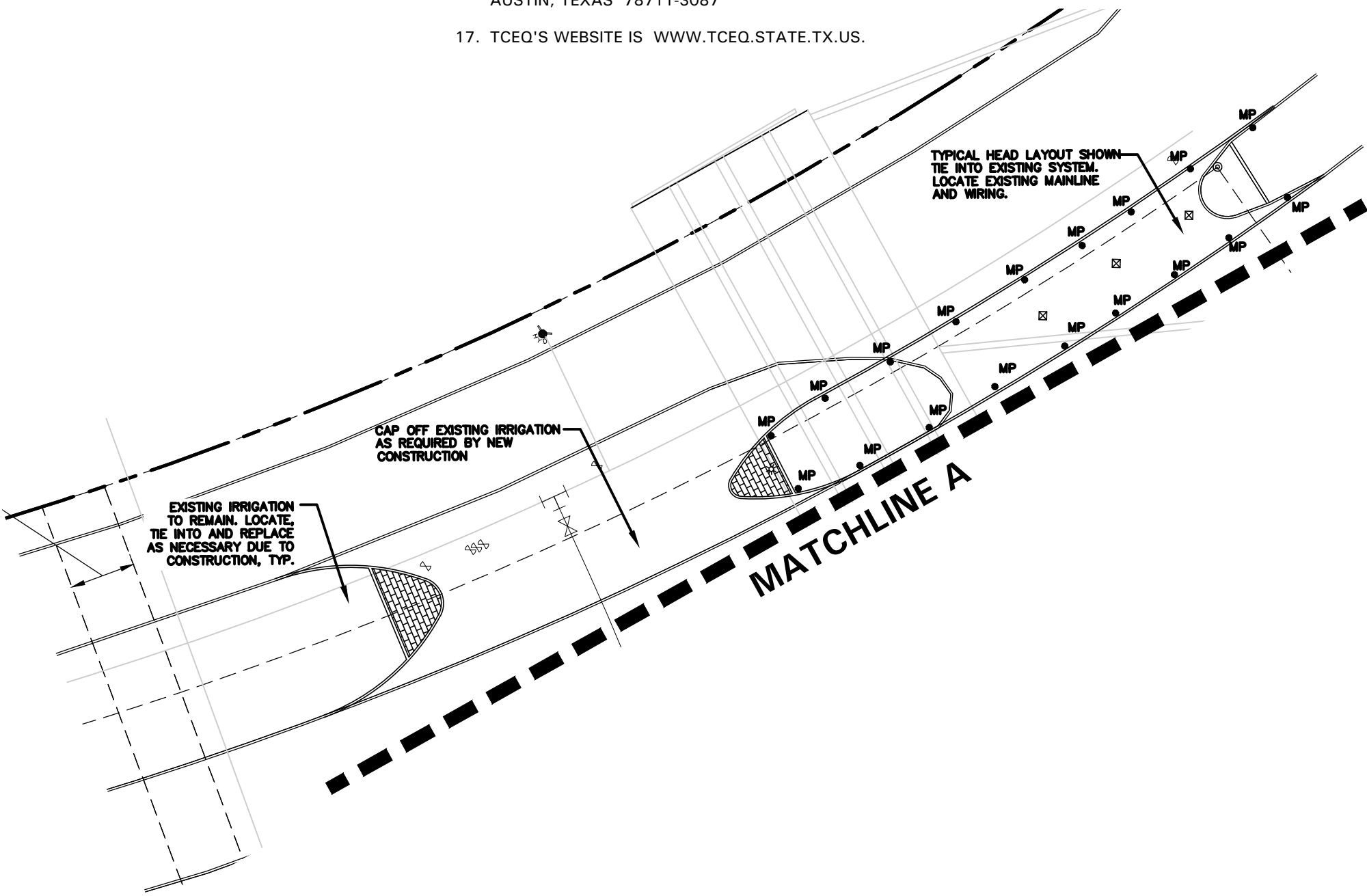
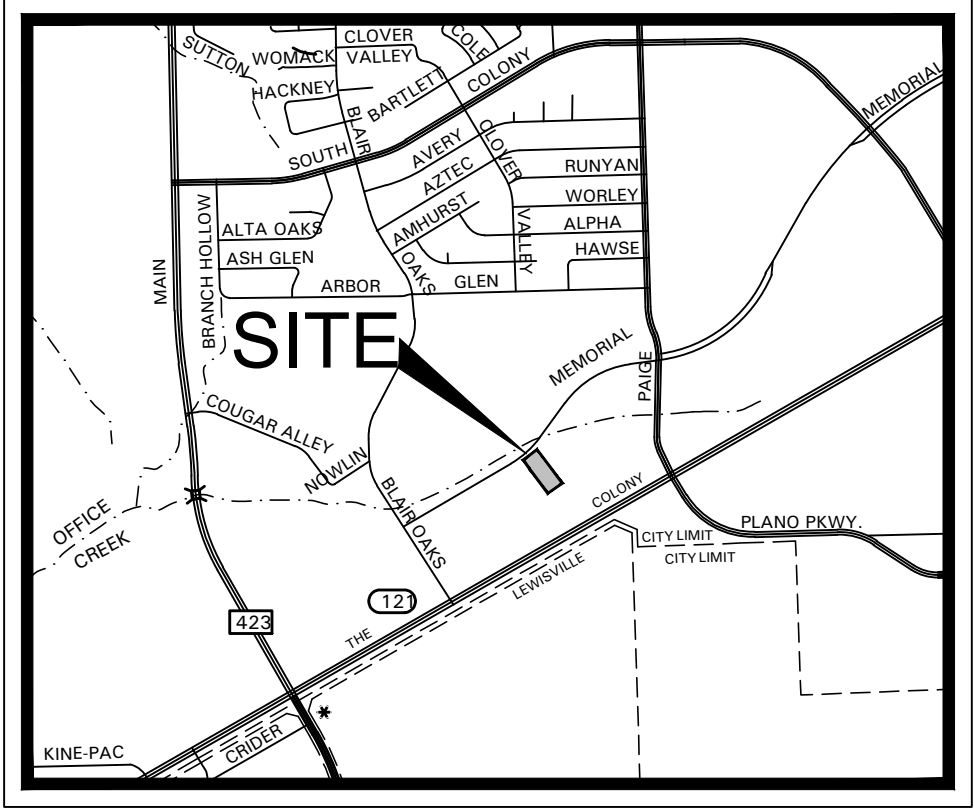
BUBBLER PIPING CHART

NUMBER OF BUBBLERS	SIZE OF PIPE
1 - 5	3/4"
6 - 10	1"
11 - 20	1 1/4"
21 - 30	1 1/2"
31 - 40	2"

SMARTLINE CERTIFIED DESIGN

- THIS IRRIGATION DESIGN FEATURES SMARTLINE CONTROLLER AND WEATHER MONITOR TECHNOLOGY AND UTILIZES 'ET' BASED WATER CONSERVATION AUTO ADJUSTING SCHEDULING.
- THE IRRIGATION CONTRACTOR MUST PROGRAM THE CONTROLLER BY SELECTING THE PROPER SPRINKLER TYPE, PLANT TYPE, SOIL TYPE, SLOPE AND SUN / SHADE EXPOSURE FOR EACH ZONE.
- THE IRRIGATION CONTRACTOR MUST CONTACT THE IRRIGATION DESIGNER FOR APPROVAL OF CONTROLLER SETTINGS.
- THE IRRIGATION DESIGNER IS JOHN WINGFIELD (972) 238-1498.
- ALL EQUIPMENT MUST BE INSTALLED AS SPECIFIED. NO EQUIPMENT SUBSTITUTIONS WILL BE PERMITTED.

VICINITY MAP
NOT TO SCALE



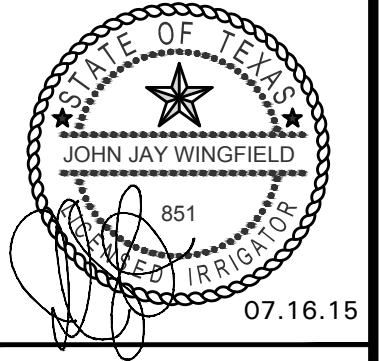
PROJECT #: SUP15-00002

- 4245 North Central Expy
- Suite 501
- Dallas, Texas 75205
- 214.865.7192 office

TEXAS REGISTRATION #14199

CLAY MOORE
ENGINEERING

PHONE: 972.281.0292
1900 CENTRAL DRIVE, SUITE #408
BECKLEY, TX 76001
WWW.CLAYMOORE.COM



SERVICE KING
MEMORIAL DRIVE
THE COLONY, TEXAS

NO.	DATE	REVISION	BY
1	7.15.15	CITY COMMENTS	AHL

IRRIGATION PLAN

DESIGN: JJW
DRAWN: JJW
CHECKED: JJW
DATE: 05/28/15

SHEET
L2.01

File No. 2015-

SECTION 32 8423 - UNDERGROUND IRRIGATION SLEEVES AND UTILITY CONDUITS

PART 1 - GENERAL

1.1 DESCRIPTION

- A. Provide underground irrigation sleeves as indicated on the drawings.

1.2 RELATED WORK SPECIFIED ELSEWHERE

- A. Section 32 8424 - Irrigation System

1.3 REFERENCED STANDARDS

- A. American Society for Testing and Materials:
- ASTM - D2441 Poly (Vinyl Chloride) (PVC) Plastic Pipe (SD R-PR)
 - ASTM - D2466 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings, Socket Type, Schedule 40.
 - ASTM - D2564 Solvent Cements for Poly Vinyl Chloride Plastic Pipe and Fittings.

PART 2 - MATERIALS

2.1 DEFINITIONS

- A. Sleeve - A pipe within which another pipe is placed for carrying water or other utilities to be installed.
- B. Wire Sleeves - A pipe used to carry low voltage irrigation wires for operation of the electric solenoid valves.

2.2 GENERAL

- A. Polyvinyl Chloride Pipe (PVC) - Manufactured in accordance with standards noted herein:
- Marking and Identification - Permanently marked with SDR number, ASTM standard number, and the NSF (National Sanitation Foundation) seal.
 - Solvent - As recommended by manufacturer to make solvent-welded joints. Thoroughly clean pipe and fittings before applying solvent.

PART 3 - EXECUTION

3.1 INSTALLATION

- A. Coverage - Provide twenty-four inches (24") minimum cover over top of sleeve from finish grade.
- B. Sleeve Extensions - Extend sleeves one foot (1') past edge of pavement or concrete walls. Install 90 degree elbow on each sleeve end and add additional length of same size pipe to extend above finish grade by twelve inches (12"). Cap pipe ends using duct tape.

3.2 BACKFILL

- A. Compaction - Place backfill over sleeves in six (6") inch lifts. Tamp firmly into place taking care not to damage sleeve. Complete backfill and compaction to prevent any future settlement. Compact to 85% Standard Proctor.
- B. Damage - Repair any damage resulting from improper compaction including pavement repair and replacement.

END OF SECTION

SECTION 32 8424 - IRRIGATION SYSTEM

PART 1 - GENERAL

1.1 SCOPE

- A. Provide complete sprinkler installation as detailed and specified herein, includes furnishing all labor, material, tools, equipment, and related items for the complete and proper

installation of the irrigation system as indicated by the Drawings. All costs associated with this installation, including fees for testing and inspections of the system components are the responsibility of the installer of this irrigation system.

- B. Work includes but is not limited to:

- Trenching and backfill.
- Installation of automatic controlled system.
- Upon completion of installation, supply as-built drawings showing details of construction including location of mainline piping, manual and automatic valves, electrical supply to valves, and specifically the exact location of automatic valves.

- C. All sleeves as shown on plans shall be furnished by General Contractor. Meter and power source shall be provided by General Contractor.

1.2 RELATED WORK SPECIFIED ELSEWHERE

- A. Refer to Irrigation Plans for controller, head, and valve locations.
- B. Section 32 8423 - Underground Irrigation Sleeves and Utility Conduits
- C. Section 32 9300 - Landscape

- D. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements.

1.3 APPLICABLE STANDARDS

- A. America Standard for Testing and Materials (ASTM) - Latest edition.
- D2241 Poly (Vinyl Chloride) (PVC) Plastic Pipe (SDR-PR)
 - D2464 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings, Thread, Schedule 80
 - D2455 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings, Schedule 40
 - D2467 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings, Socket Type, Schedule 80
 - D2564 Solvent Cements for Poly (Vinyl Chloride) (PVC) Plastic Pipe and Fittings
 - D2287 Flexible Poly Vinyl Chloride (PVC) Plastic Pipe
 - F656 Poly Vinyl Chloride (PVC) Solvent Weld Primer
 - D2855 (Mking Solvent - Cemented Joints with Poly (Vinyl Chloride) (PVC) Pipe and Fittings

1.4 MAINTENANCE AND GUARANTEE

- A. The Contractor shall guarantee materials and workmanship for one (1) calendar year after final acceptance by Owner.
- B. Guarantee is limited to repair and replacement of defective materials or workmanship, including repair of backfill settlement.
- C. Provide maintenance of system, including raising and lowering of heads to compensate for lawn growth, cleaning and adjustment of heads, and raising and lowering of shrub heads to compensate for shrub growth for one (1) year after completion of installation.

1.5 SUBMITTALS

- A. Procedure: Comply with Division I requirements.
- B. Product Data: The Contractor shall submit five (5) copies of equipment manufacturer's cut sheets and shop drawings for approval by Owner Authorized Representative prior to installation, including, but not limited to the following: sprinkler head, pipe, controller, valves, backflow prevention devices, valve boxes, wire, conduit, fittings, and all other types of fixtures proposed to be installed on the job. The submittal shall include the manufacturer's name, model number, equipment capacity, and manufacturer's installation recommendations, if applicable, for each proposed item.
- C. No work covered under this section may begin until the

Contractor has submitted the required information. No partial submittal shall be accepted and submittals shall be neatly bound into a brochure and logically organized. After the submittal has been approved, substitutions will not be allowed, except by written consent by the Owner Authorized Representative.

- D. Shop drawings include dimensions, elevations, construction details, arrangements, and capacity equipment, as well as manufacturer's installation recommendations.

- E. Operating and Maintenance Manuals:

- Provide three (3) individually bound manuals detailing operating and maintenance requirements for the irrigation system.
- Manuals shall be delivered to the Owner Authorized Representative no later than ten (10) days prior to completion of the irrigation system.
- Provide descriptions of all installed materials and systems in sufficient detail to permit maintenance personnel to understand, operate, and maintain the equipment.
- Provide the following in each manual:
 - Index sheet with Contractor's name, address, telephone number, and contact name.
 - Duration of guarantee period. Include warranties and guarantees extended to the Owner by the manufacturer of all equipment.
 - Equipment list providing the following for each item:
 - Manufacturer's name
 - Make and model number
 - Name and address of local part's representative
 - Spare parts list in detail
 - Details operating and maintenance instructions for major equipment.

- F. Project Record Documents:

- Comply with Division I requirements.
- Locate by written dimension, routing of mainline piping, remote control valves, and quick coupling valves. Locate mainlines by single dimensions from permanent site features provided they run parallel to these elements. Locate valves, intermediate electrical connections, and quick couplers by two dimensions from a permanent site feature at approximately 70 degrees to each other.
- When dimensioning is complete, transpose work to bond paper.
- Submit three (3) copies of the completed as-built drawings, along with a CD with PDF files of the same, to the Owner Authorized Representative prior to final acceptance of the work. Mark drawings "Record Prints Showing Significant Changes". Date and sign drawings.

- G. Quick Coupler Keys: Provide three (3) coupler keys with boiler drains attached using brass reducer.

- H. Controller Keys: Provide three (3) sets of keys to controller enclosure(s).

- I. Use of materials differing in quality, size, or performance from those specified shall only be allowed upon written approval of the Landscape Architect. The decision shall be based on comparative ability of material or article to perform fully all purposes of mechanics and general design considered to be possessed by item specified.

- J. Bidders desiring to make a substitution for specified sprinklers shall submit manufacturer's catalog sheet showing full specification of each type sprinkler proposed as a substitute, including discharge in GPM maximum allowable operating pressure at sprinkler.

- K. Approval of substitute sprinkler shall not relieve Irrigation Contractor of his responsibility to demonstrate that final installed sprinkler system shall operate according to intent of originally designed and specified system.

- L. It is the responsibility of the Irrigation Contractor to demonstrate that final installed sprinkler system shall operate according to intent of originally designed and specified system. If Irrigation Contractor notes any problems in head spacing or potential coverage, it is his responsibility to notify the Landscape Architect in writing, before proceeding with

work. Irrigation Contractor guarantees 100% coverage of all areas to be irrigated.

1.6 TESTING

- A. Perform testing required with other trades, including earthwork, paving, plumbing, electrical, etc., to avoid unnecessary cutting, patching, and boring.
- B. Water Pressure: This irrigation system has been designed to operate with a minimum static water pressure indicated on Drawings. The Contractor shall take a pressure reading at each water meter prior to beginning construction. Confirm findings to Owner Authorized Representative in writing. If static pressure varies from pressure stated on drawings, do not start work until notified to do so by Owner Authorized Representative.

1.7 COORDINATION

- A. Coordinate installation with other trades, including earthwork, paving, and plumbing to avoid unnecessary cutting, patching and boring.
- B. Coordinate to ensure that electrical power source is in place.
- C. Coordinate system installation with work specified in other sections and coordinate with Landscape Contractor to ensure plant material is uniformly watered in accordance with intent shown on drawings.

PART 2 - PRODUCTS

2.1 GENERAL

- A. Mainline: Mainlines are the piping from water source to operating valves. This portion of piping is subject to surges, being a closed portion of sprinkler main. Hydrant lines are considered a part of sprinkler main.

- B. Lateral Piping: Lateral piping is that portion of piping from operating valve to sprinkler heads. This portion of piping is not subject to surges, being an "open end" portion of sprinkler system.

2.2 POLY VINYL CHLORIDE PIPE (PVC PIPE)

- A. PVC pipe shall be manufactured in accordance with commercial standards noted herein.

- B. Marking and Identification: PVC pipe shall be continuously and permanently marked with the following information: manufacturer's name, pipe size, type of pipe, and material, SDR number, product standard number, and the NSF (National Sanitation Foundation) seal.

- C. PVC Pipe Fittings: Shall be of the same material as the PVC pipe specified and shall be compatible with PVC pipe furnished.

2.3 COPPER TUBING

- A. Hard, straight lengths of domestic manufacture only. Do not use copper tube of foreign extrusion or any so-called irrigation tubing (thin wall).

2.4 COPPER TUBE FITTINGS

- A. Cast brass or wrought copper, sweat - solder type.

2.5 WIRE

- A. Type UF with 4/64" thick waterproof insulation which is Underwriter's Laboratory approved for direct underground burial when used in a National Electric Code Class II Circuit (30 volts AC or less).

- B. Wire Connectors: Waterproof splice kit connectors. Type DBY by 3M.

2.6 SCHEDULE 80 PVC NIPPLES

- A. Composed of Standard Schedule 40 PVC Fittings and PVC

meeting noted standards. No clamps or wires may be used. Nipples for heads and shrub risers to be nominal one-half inch (1/2") diameter by eight (8") inches long, where applicable.

- B. Polyethylene nipples six (6") inches long shall be used on all pop-up spray heads.

2.7 MATERIALS - SEE IRRIGATION PLAN

- A. Sprinkler heads in lawn area as specified on plan.

- B. PVC Pipe: Class 200, SDR 21

- C. Copper Tubing (City Connection): Type "M"

- D. 24V Wire: Size 14, Type UF

- E. Electric valves: Shall be all plastic construction as indicated on plans.

- F. Backflow Prevention Device: Refer to drawing requirements and flow valve. Coordinate exact location with General Contractor.

PART 3 - EXECUTION

3.1 INSTALLATION - GENERAL

- A. Staking: Before installation is started, place a stake where each sprinkler is to be located, in accordance with drawing. Staking shall be approved by Owner Authorized Representative before proceeding with work.

- B. Excavations: Excavations are unclassified and include earth, loose rock, rock or any combination thereof, in wet or dry state. Backfill trenches with material removed, provided that the earth is suitable for compaction and contains no lumps, clods rock, debris, etc. Special backfill specifications, if furnished take preference over this general specification.

- C. Backfill: Flood or hand-tamp to prevent after settling. Hand rake trenches and adjoining area to leave grade in as good or better condition than before installation.

- D. Piping Layout: Piping layout is diagrammatic. Route piping around trees and shrubs in such a manner as to avoid damage to plantings. Do not dig within ball of newly planted trees or shrubs. In areas where existing trees are present, trenches shall be adjusted on-site to provide a minimum clearance of four (4) feet between the drip line of any tree or trench. The Contractor shall notify the Owner Authorized Representative in writing of a planned change in trench routing from that shown on the drawings.

3.2 PIPE INSTALLATION

- A. Sprinkler Mains: Install a four (4") inch wide minimum trench with a minimum of eighteen (18") inches of cover.

- B. Lateral Piping: Install a four (4") inch wide minimum trench deep enough to allow for installation of sprinkler heads and valves, but in no case, with less than twelve (12") of cover.

- C. Trenching: Remove lumber, rubbish, and large rocks from trenches. Provide firm, uniform bearing for entire length of each pipe line to prevent uneven settlement. Wedging or blocking of pipe shall not be permitted. Remove foreign matter or dirt from inside of pipe before welding, and keep piping clean by approved means during and after laying of pipe.

3.3 PVC PIPE AND FITTING ASSEMBLY

- A. Solvent: Use only solvent recommended by manufacturer to make solvent-welded joints. Thoroughly clean pipe and fittings of dirt, dust and moisture before applying solvent.

- B. PVC to metal connection: Work metal connections first. Use a non-hardening pipe dope such as Permatex No. 2 on threaded PVC adapters into which pipe may be welded.

3.4 COPPER TUBING AND FITTING ASSEMBLY

- A. Clean pipe and fitting thoroughly and lightly sand pipe connections to remove residue from pipe. Attach fittings to tubing in an approved manner using 50-50 soft solid core solder.

3.5 POP-UP SPRAY HEADS

- A. Supply pop-up spray heads in accordance with materials list and plan. Attach sprinkler to lateral piping with a semi-flexible polyethylene nipple not less than three (3") inches or more than six (6") inches long.

3.6 VALVES

- A. Supply valves in accordance with materials list and sized according to drawings. Install valves in a level position in accordance with manufacturer's specifications. See plan for typical installation of electric valve and valve box.

3.7 WIRING

- A. Supply wire from the automatic sprinkler controls to the valves. No conduit will be required for UF wire unless otherwise noted on the plan. Wire shall be tucked under the piping.

- B. A separate wire is required from the control to each electric valve. A common neutral wire is also required from each control to each of the valves served by each particular control.

- C. Bundle multiple wires and tape them together at ten (10') foot intervals. Install ten (10') inch expansion coils at not more than one hundred (100') foot intervals. Make splices waterproof.

3.8 AUTOMATIC SPRINKLER CONTROLS

- A. Supply in accordance with Irrigation Plan. Install according to manufacturer's recommendations.

3.9 TESTING

- A. Sprinkler Mains: Test sprinkler main only for a period of twelve (12) to fourteen (14) hours under normal pressure. If leaks occur, replace joint or joints and repeat test.

- B. Complete tests prior to backfilling. Sufficient backfill material may be placed in trenches between fittings to ensure stability of line under pressure. In each case, leave fittings and couplings open to visual inspection for full period of test.

3.10 FINAL ADJUSTMENT

- A. After installation has been completed, make final adjustment of sprinkler system in preparation for Owner Authorized Representative's final inspection.

- B. Completely flush system to remove debris from lines by removing nozzle from heads on end of lines and turning on system.

- C. Check sprinklers for proper operation and proper alignment for direction of throw.

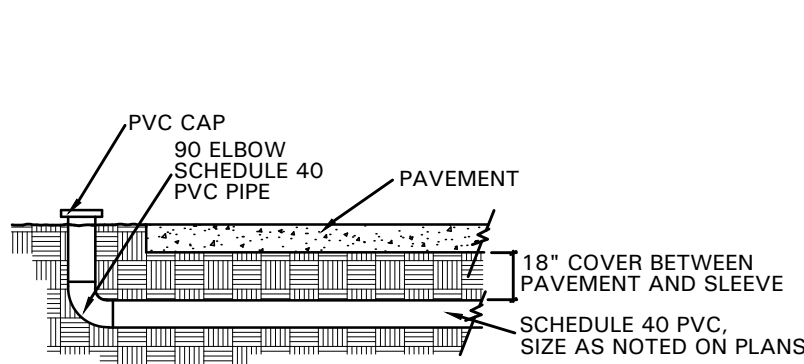
- D. Check each section of spray heads for operating pressure and balance to other sections by use of flow adjustment on top of each valve.

- E. Check nozzling for proper coverage. Prevailing wind conditions may indicate that arch of angle of spray should be other than shown on drawings. In this case, change nozzles to provide correct coverage and furnish data to Owner Authorized Representative with each change.

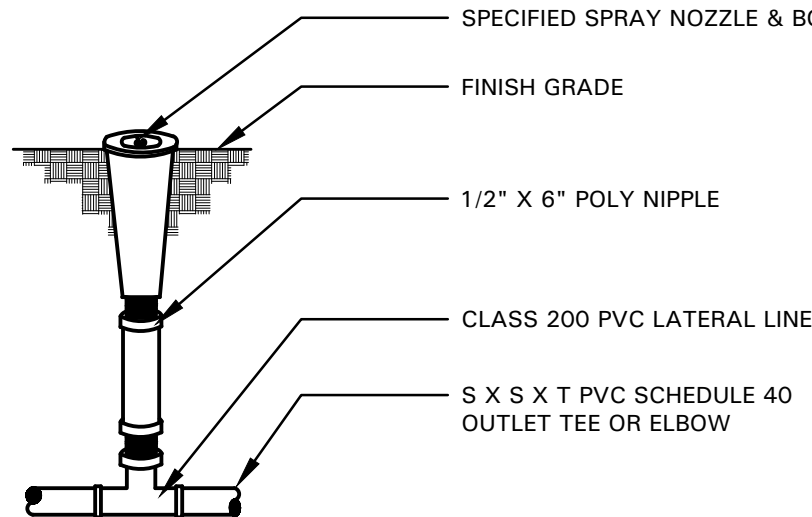
3.11 SYSTEM DEMONSTRATION

- A. Instruct Owner's personnel in operation and maintenance of system including adjusting of sprinkler heads. Use operation and maintenance manual for basis of demonstration.

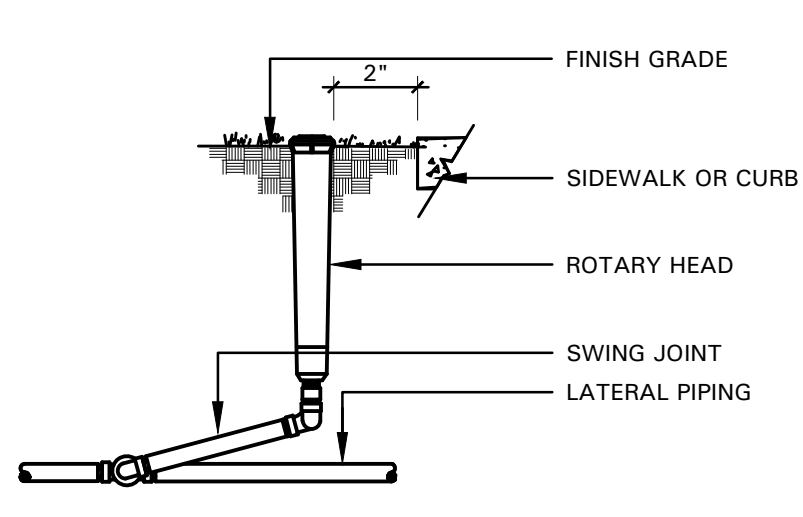
END OF SECTION



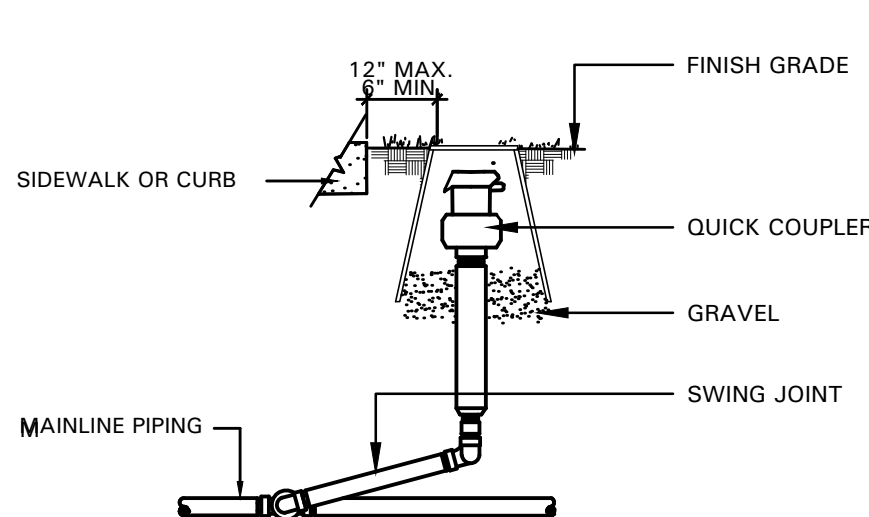
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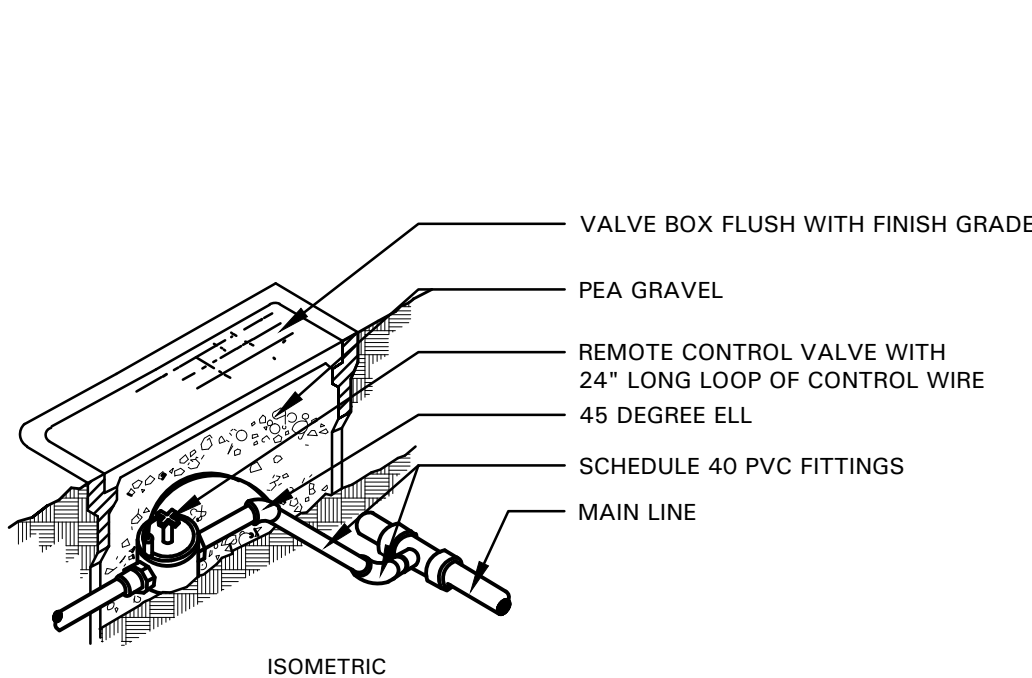
02 POP-UP LAWN SPRAY ASSEMBLY
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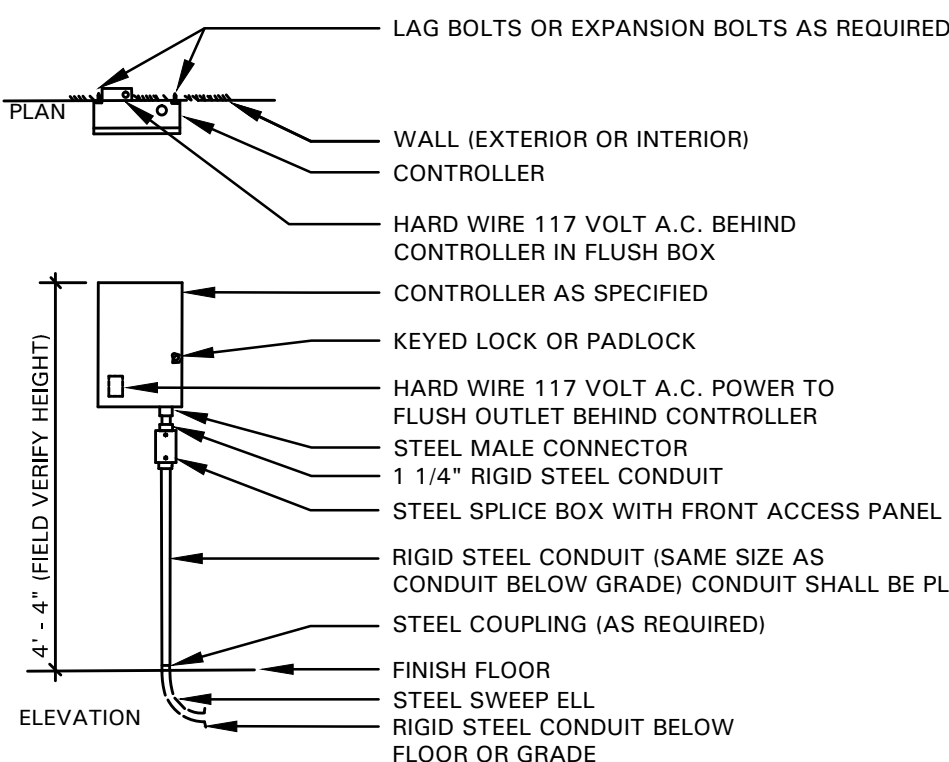
03 ROTARY HEAD
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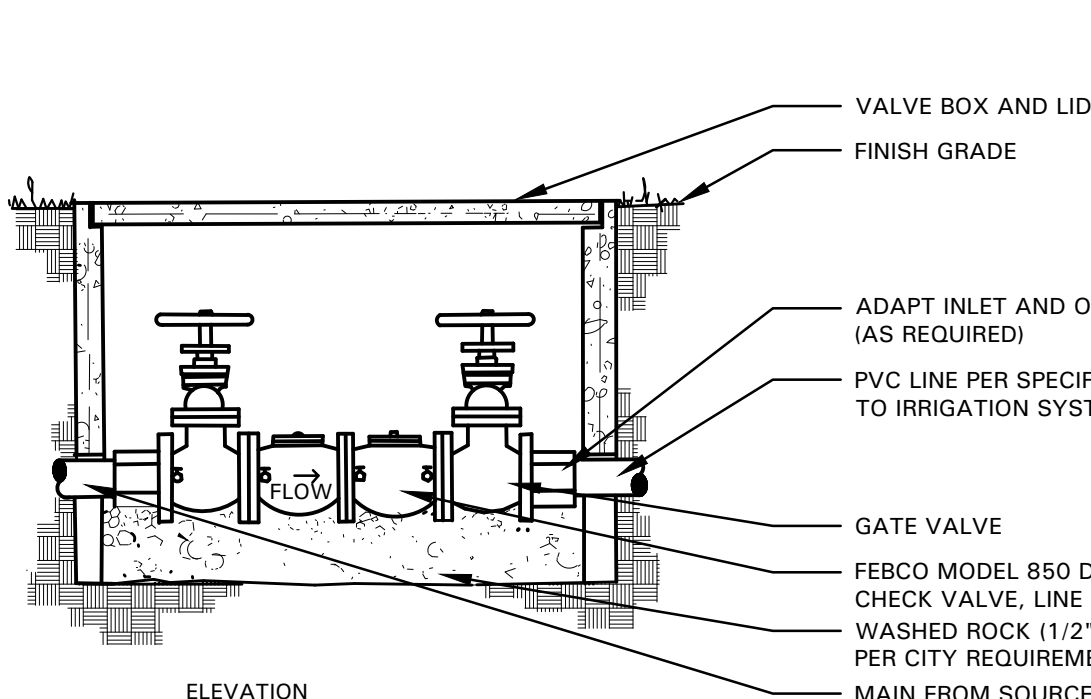
04 QUICK COUPLER
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05 REMOTE CONTROL VALVE
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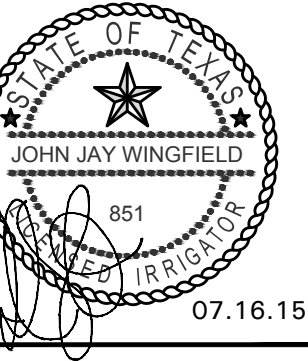
06 WALL MOUNTED CONTROLLER
NOT TO SCALE



07 BACKFLOW PREVENTER
NOT TO SCALE



• 4245 North Central Expy
• Suite 501
• Dallas, Texas 75205
• 214.865.7192 office



SERVICE KING
MEMORIAL DRIVE
THE COLONY, TEXAS

NO.	DATE	REVISION	BY
1	7/16/15	CITY COMMENTS	APL

IRRIGATION
SPECIFICATIONS
AND DETAILS

DESIGN: JJW

DRAWN: JJW

CHECKED: JJW

DATE: 05/28/15

SHEET

L2.02

File No. 2015-

PLANNING AND ZONING COMMISSION REPORT

AGENDA DATE: July 28, 2015

DEPARTMENT: Engineering/Development Services Department

PLANNER: Surupa Sen, AICP, Senior Planner, 972-624-3164

SUBJECT *SP15-0013 Modern Round Site Plan*

Discuss and consider making a recommendation to City Council on a request for Site Plan for Modern Round, an indoor entertainment facility that will house a restaurant and an indoor virtual shooting gallery, located between Memorial Drive and SH 121, west of Firestone, East of Top Golf located in the Business Park (BP) zoning district.

OWNER/ENGINEER

Owner/Developer:	Kris Ramji	Irving, Texas
Engineer/Surveyor:	ClayMoore Engineering	Bedford, Texas

EXISTING CONDITION OF PROPERTY

The property is currently undeveloped.

PROPOSED DEVELOPMENT

The applicant is proposing to build an 18,000 square foot indoor entertainment facility, Modern Round, on approximately 2.465 acres, located between Memorial Drive and SH 121, west of Firestone, East of Top Golf.

ADJACENT ZONING AND LAND USE

North - Business Park (BP), Vacant Land
South - Business Park (BP), Vacant Land, SH 121
East - Business Park (BP), Firestone
West - Planned Development (PD 27), Top Golf

DEVELOPMENT REVIEW COMMITTEE (DRC) REVIEW

The Development Review Committee (DRC) finds the Site Plan meets the requirements of the Appendix A, Zoning Ordinance and other applicable ordinances of the Code of Ordinances as outlined in the Staff Report.

ATTACHMENTS

1. Staff Analysis
2. Location Map
3. Proposed Site Plan
4. Landscape Plan
5. Building Elevation

ATTACHMENT 1

Staff Analysis

Summary of Request

The applicant is proposing to build an 18,000 square foot indoor entertainment facility, Modern Round, that will house a restaurant and an indoor virtual shooting gallery, on approximately 2.465 acres. Modern Round is proposed to be located between Memorial Drive and SH 121, west of Firestone, and East of Top Golf.

Existing Condition of Property

The subject property is undeveloped.

Platting Status

The Final Plat for the subject property is being reviewed by staff.

Adjacent Zoning/Land Use

North - Business Park (BP), Vacant Land
South - Business Park (BP), Vacant Land, SH 121
East - Business Park (BP), Firestone
West - Planned Development (PD 27), Top Golf

Land Use Analysis

This is an allowed use in the Business Park (BP) zoning district.

Gateway Overlay District Amenities

Section 10A-1000, Public Amenities and Standards requires commercial developments greater than one (1) acre but less than five (5) acres in size incorporate one (1) public amenity. The one amenity can be chosen from the following list, as found in Section 10A-100 (a)(3) of the Gateway Overlay District:

- (A) Patio or Plaza with seating area;
- (B) Landscaped mini-parks, squares or greens;
- (C) Water feature; or
- (D) Outdoor public art.

The applicant has proposed a patio with outdoor seating to meet this requirement.

Infrastructure Improvements

The City is not planning any specific public infrastructure improvements for this area other than infrastructure required for the development of Modern Round.

Circulation and Parking

The proposed facility will have access from Memorial Drive and SH 121 through mutual access easements. A Traffic Study was required to be completed for the Victory at 121 Center with the submittal of the Site Plan. The Traffic Study indicates that the property to be developed first in this area that will connect to the SH 121 driveways will have to build a deceleration lane on SH 121.

The parking ratio for restaurant – limited service is 1 space per 150 SF and for recreation indoor is 1 space per 125 SF. The parking provided meets the specific requirements of Section 13, Vehicular Parking, Parking Lot, and On-Site Traffic Regulations of Zoning Ordinance.

Parking Standard	Parking Required
Parking calculation for Modern Round: Restaurant Limited Service (6000 SF) 1 spaces per 150 SF	40 spaces (2 ADA)
Recreation Indoor (12,000 SF) 1 space per 125 SF	96 spaces (3 ADA)
Total Parking Required	136 spaces (5 ADA)
Total Parking Provided	154 spaces (6 ADA)

Landscaping and Irrigation

The applicant is proposing landscaping made up of a combination of Bald Cypress, Shumard Oak, Oklahoma Redbud and Crape Myrtles to meet the requirements of the Gateway Overlay and Zoning Ordinance. Ten percent (10%) of the gross vehicular area has been landscaped as required. Seventeen (17) trees 3” cal. has been proposed in vehicular parking areas. Perimeter landscaping has been proposed with one (1) ornamental tree every fifty (50) linear feet.

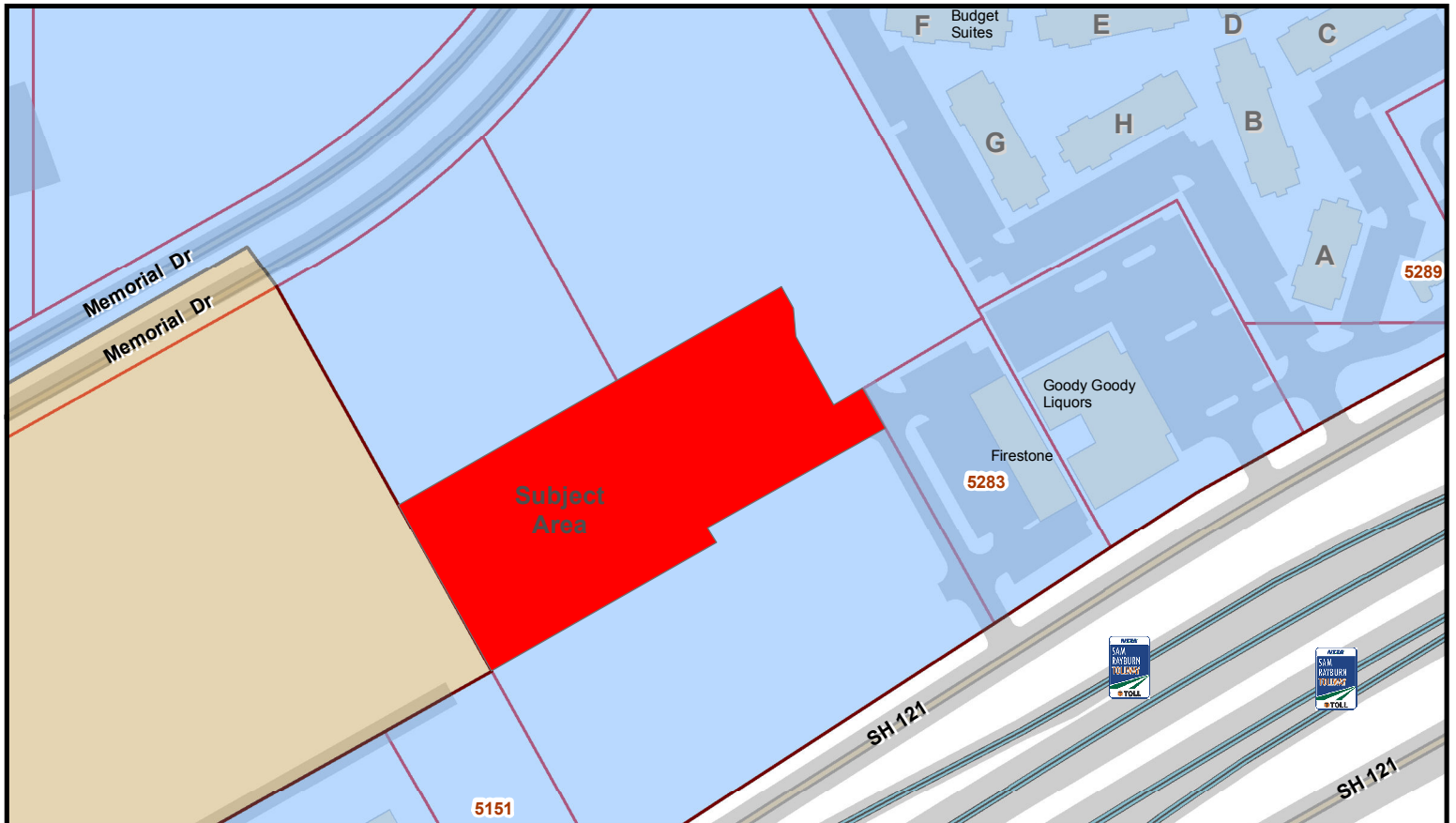
Gateway Landscaping Amenities Requirements

In addition, a development of this size (between one and three acres) in the Gateway Overlay District must provide additional landscaping amenities to meet the requirement of fifteen (15) Landscape Points. The applicant has provided the following landscaping amenities to meet this requirement:

Landscape Amenity	Points Earned
Enhanced Entry Landscape	5 points
Enhanced Site Canopy	5 points
Foundation Planting	5 points
Total Points	15 points

Development Review Committee Review

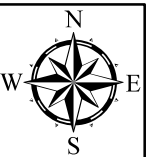
The Development Review Committee finds that the Site Plan meets all applicable requirements of the Zoning Ordinance, therefore recommends approval.



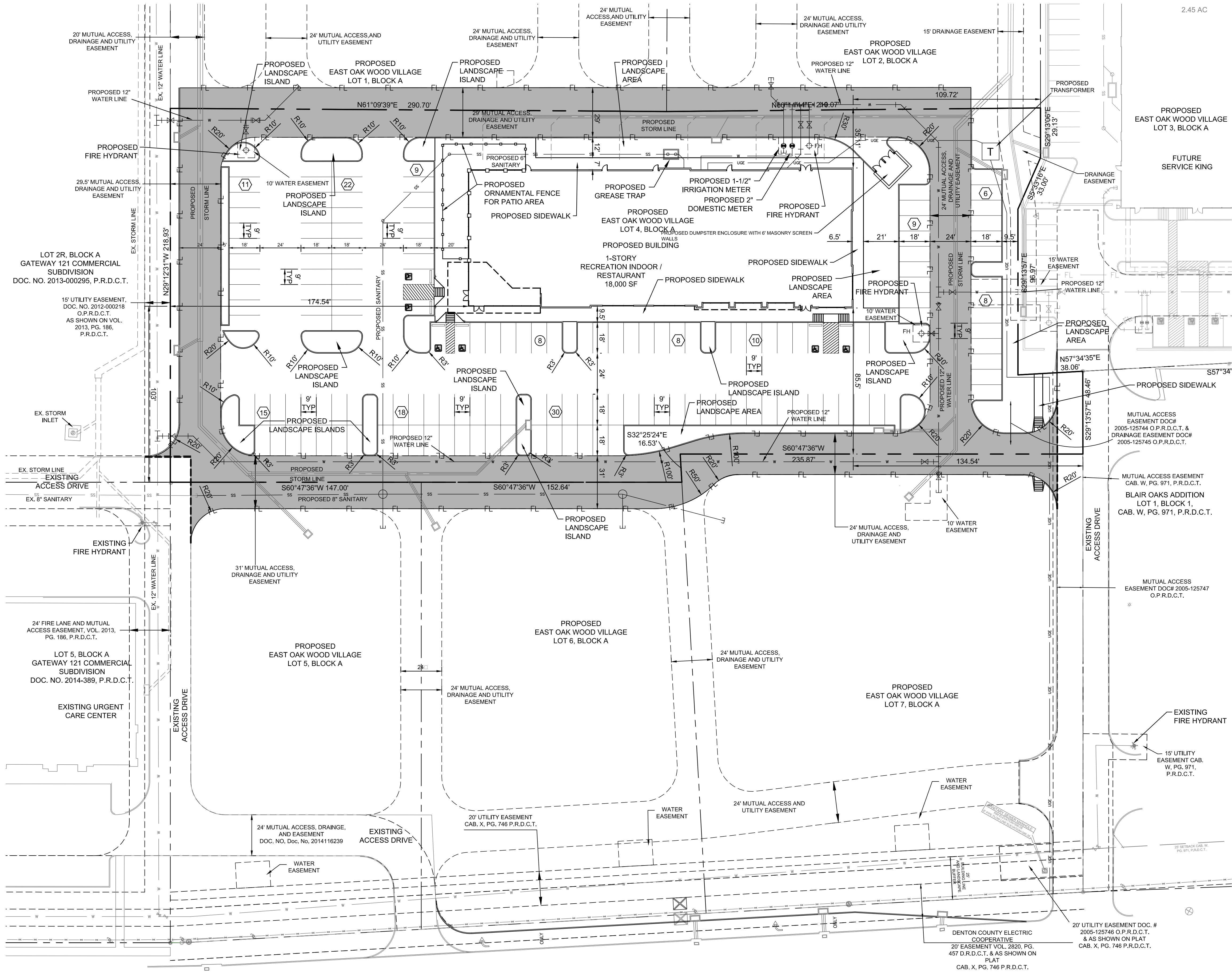
Project No. SP15-0013 - Project Name: Modern Round

■ Modern Round	■ Business Park/Industrial	■ Heavy Commercial	■ Mobile Home	■ Planned Development	■ BuildingFootprints
■ Agricultural	■ Duplex Dwelling	■ Industrial	■ Neighborhood Service	■ Shopping Center	
■ Business Park	■ General Retail	■ Light Commercial	■ Office District 1	■ Single Family Dwelling	

This map was generated by GIS data provided by The Colony GIS Department. The City of The Colony does not guarantee the correctness or accuracy of any features on this map. These digital products are for illustration purposes only and are not suitable for site-specific decision making.

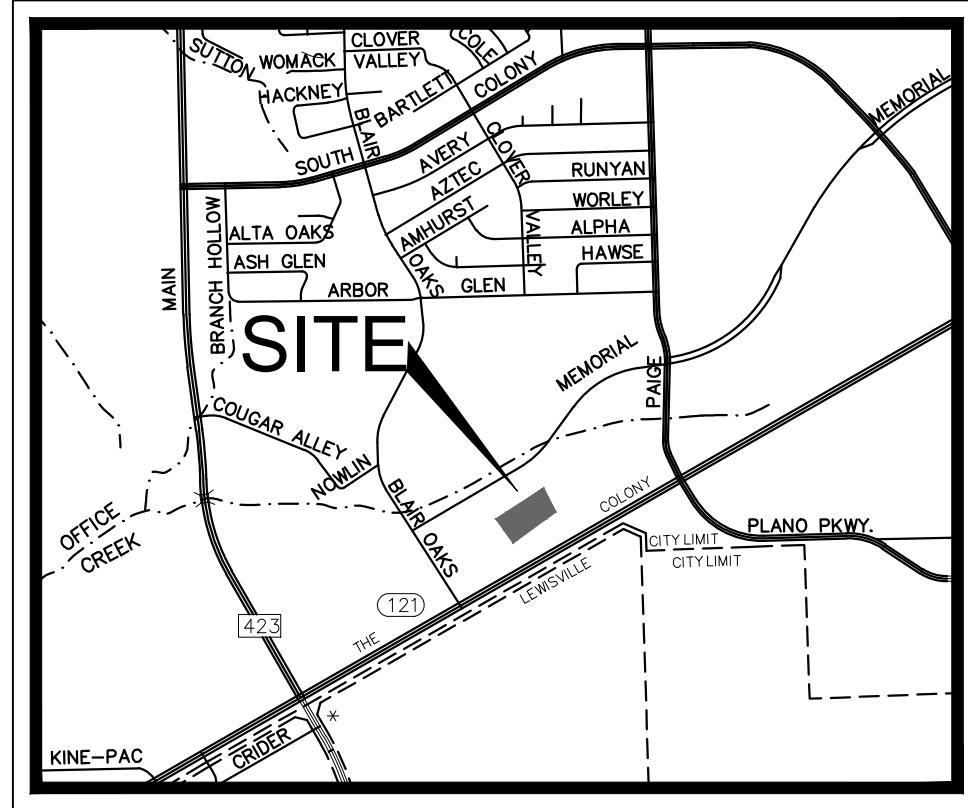
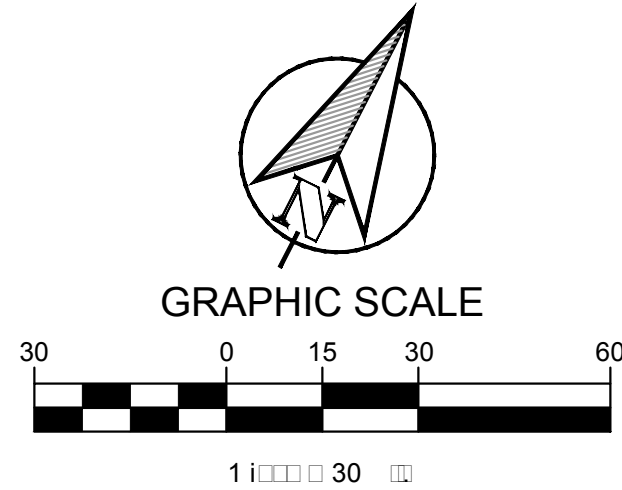


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 PLOT DATE: 7/15/2015 11:19 AM
 LOCATION: Z:\PROJECTS\PROJECTS\2015-030 VICTORY COLONY 121\CADD\SHEETS\SP-1 SITE PLAN.DWG
 LAST SAVED: 7/15/2015 11:19 AM



APPROVED BY THE CITY COUNCIL ON THE _____ DAY OF _____, 20____

 DEVELOPMENT SERVICES DIRECTOR



VICINITY MAP
N.T.S.

LEGEND	
(10)	PROPOSED PARKING COUNT
W	EXISTING WATER MAIN
S	EXISTING SANITARY SEWER AND MANHOLE
W + V	PROPOSED WATER LINE AND VALVE
⊕	PROPOSED FIRE HYDRANT
⊠	PROPOSED STORM LINE AND INLET
SS	PROPOSED SANITARY SEWER LINE AND MANHOLE
UGE	PROPOSED UNDERGROUND ELECTRIC
FL	PROPOSED FIRE LANE STRIPING

SITE DATA TABLE	
LOT AREA	2.465 AC. (107,384 SF)
CURRENT ZONING	BP - BUSINESS PARK
BUILDING AREA	18,000 SF
BUILDING HEIGHT	1 STORY
FLOOR AREA RATIO (FAR)	0.17 : 1
PERVIOUS AREA	13,609 SF
IMPERVIOUS AREA	93,775 SF
PARKING TABLE	
RESTAURANT - LIMITED SERVICE 1 SPACE PER 150 SF (6,000 SF)	40 SPACES (2 ADA)
RECREATION INDOOR 1 SPACE PER 125 SF (12,000 SF)	96 SPACES (3 ADA)
TOTAL PARKING REQUIRED:	136 SPACES (5 ADA)
TOTAL PARKING PROVIDED:	154 SPACES (6 ADA)

- NOTES:
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND EXACT DOOR LOCATIONS.
 - A FIRE SPRINKLER SYSTEM WILL BE PROVIDED FOR THE PROPOSED BUILDING.

APPLICANT: CLAYMOORE ENGINEERING, INC.
 1903 CENTRAL DR.
 SUITE #406
 BEDFORD, TX 76021
 PH. 817.281.0572
 FAX 817.281.0574
 CONTACT: MATT MOORE, PE
 EMAIL: MATT@CLAYMOOREENG.COM
 ARCHITECT: ROGUE ARCHITECTS
 513 MAIN STREET STE. 200
 FORT WORTH, TX 76102
 PHONE: 817.820.0433
 CONTACT: GRANT LIBBY
 DEVELOPER: VICTORY 121 NORTH, LLC
 825 W. ROYAL LANE
 SUITE 250
 IRVING, TX 75039
 PHONE: 972.707.9555
 CONTACT: KRIS RAMJI
 EMAIL: KRIS@VICTORYGROUPREALESTATE.COM
 PREPARED BY: CLAYMOORE ENGINEERING, INC.
 1903 CENTRAL DR.
 SUITE #406
 BEDFORD, TX 76021
 PH. 817.281.0572
 FAX 817.281.0574
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 EMAIL: MATT@CLAYMOOREENG.COM
 CITY FILE NO. SP15-0013

TEXAS REGISTRATION #14199
CLAYMOORE ENGINEERING
 1903 CENTRAL DRIVE, SUITE 406
 BEDFORD, TX 76021
 PHONE 817.281.0572
 WWW.CLAYMOOREENG.COM

PRELIMINARY
 FOR REVIEW ONLY
 Not for construction purposes.
 CLAYMOORE ENGINEERING
 ENGINEERING AND PLANNING
 CONSULTANTS
 Engineer: MATT MOORE
 P.E. No. 95813 Date 07/15/2015

MODERN ROUND
STATE HIGHWAY 121
THE COLONY, TEXAS

SHEET
SP-1
 File No. 2015-030

**MODERN ROUND
STATE HIGHWAY 121
THE COLONY, TEXAS**

2	7.16.15	CITY COMMENTS			AL
1	6.25.15	CITY COMMENTS			AL
No.	DATE	REVISION			BY

LANDSCAPE PLAN

L1.01

File No. 2015-



LANDSCAPE TABULATIONS

THE CITY OF THE COLONY, TEXAS - GATEWAY OVERLAY

INTERIOR LANDSCAPE

1. A minimum of ten (10) percent of the gross vehicular area shall be devoted to living landscape.

Vehicular area: 68,426 s.f.

Required	Provided
6,843 s.f. (10%)	7,112 s.f. (10%)
(17) trees, 3" cal.	(17) trees, 3" cal.

PERIMETER LANDSCAPE

1. One (1) ornamental tree every fifty (50) linear feet.

North Property Line: 510 l.f.

Required	Provided
(10) ornamental trees	(13) ornamental trees

East Property Line: 208 l.f.

Required (4) ornamental trees	Provided (6) ornamental trees
----------------------------------	----------------------------------

South Property Line: 535 l.f.

Required (11) ornamental trees	Provided (14) ornamental trees
-----------------------------------	-----------------------------------

West Property Line: 219 l.f.

Required	Provided
(5) ornamental trees	(6) ornamental trees

GATEWAY OVERLAY REQUIREMENTS

1. Site: Between 1 and 3 acres (15 Points required)
Enhanced landscaping: 5 Points
Enhanced site canopy: 5 Points
Foundation planting: 5 Points
2. One (1) public area amenity

Required

15 points	15 points
Patio with seating	Patio with seating

SOLID SOD NOTES

1. PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
2. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
3. WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
4. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMUDAGRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

1. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
2. CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
3. CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
4. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
5. ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
6. TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
7. ALL LAWN AREAS SHALL BE SOLID SOD BERMUDDGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
8. ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH MAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
9. CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

GENERAL LAWN NOTES

1. CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
2. CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
3. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
4. ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
5. CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
6. CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
7. CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

LANDSCAPE NOTES

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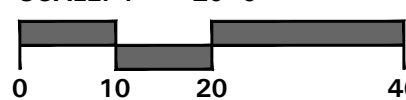
PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
	TREES				
BC	<i>Taxodium distichum</i>	Bald Cypress	5	3" cal.	container grown, 12" ht., 4" spread, 4" trunk
CM	<i>Lagerstroemia indica 'Natchez'</i>	Creepe Myrtle 'Natchez'	22	30 gal.	container grown, 35 trunk, no cross cal.
RB	<i>Cercis canadensis 'Oklahoma'</i>	Oklahoma Redbud	17	30 gal.	container grown, 8' ht., 4" spread min.
SO	<i>Quercus shumardii</i>	Shumard Red Oak	14	3" cal.	container grown, 12" ht., 4" spread, 4" trunk
	SHRUBS/GROUND COVER				
AJ	<i>Abelia grandiflora</i>	Glossy Abelia	14	5 gal.	container full, 24" height, 36" o.c.
AB	<i>Trachelospermum asiaticum</i>	Asian Jasmine	1050	4" pots	container (3) 12" runners min., 12" o.c.
AN	<i>Juniperus tobiira 'Andorra'</i>	Andorra Juniper	55	5 gal.	container full, 20" spread, 24" o.c.
IH	<i>Raphiolepis indica 'Clara'</i>	Indian Hawthorne 'Clara'	33	5 gal.	container full, 20" spread, 36" o.c.
SG	<i>Salvia greggii 'Red'</i>	Salvia Greggii 'Red'	33	5 gal.	container full, 20" spread 24" o.c.
	<i>Cynodon dactylon</i>	Common Bermudagrass			refer to notes

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN.
ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.



SCALE: 1" = 20'-0"



- 4245 North Central Expy
- Suite 501
- Dallas, Texas 75205
- 214.865.7192 office

SECTION 32 9300 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

- A. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

- A. Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

- Planting (trees, shrubs and grasses)
- Bed preparation and fertilization
- Notification of sources
- Water and maintenance until final acceptance
- Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) – plant material
- B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- C. Texas Association of Nurserymen, Grades and Standards
- D. Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- A. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel and crushed stone. Samples shall be approved by Owner's Authorized Representative before use on the project.

1.5 JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below final finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the final finish grade of sidewalks, drives and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
- The Landscape Contractor shall be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show healthy growth and satisfactory foliage conditions.
 - Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
 - A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by the Owner's Authorized Representative will be completed prior to written acceptance.
- B. Guarantee:

- Trees, shrubs and groundcover shall be guaranteed for a twelve (12) month period after final acceptance. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry have been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
- Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
- At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
- When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and re-inspected for full compliance with the contract requirements. All replacements are to be included under "Work" of this section.

- The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
- The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
- Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a complete, undamaged condition and there is a stand in a complete, all lawn areas. At that time, the Owner will assume maintenance on the accepted work.
- Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting. In the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense to the Landscape Contractor.

- C. Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting. In the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense to the Landscape Contractor.

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable federal, state, county and local regulations governing landscape materials and work.
- B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- C. Selection of Plant Material:
- Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will ensure the purchased materials will meet and / or exceed project specifications.
 - Substitutions: Do not make plant material substitutions. If the specified landscape material is not obtainable, submit proof of non-availability to Landscape Architect, together with proposal for use of equivalent material. At the time bids are submitted, the Contractor is to have located the materials necessary to complete the job as specified.
 - Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
 - Measurements: Measure trees with branches and trunks or canes in their normal position. Do not prune to obtain required sizes. Take caliper measurements six inches above ground for trees up to and including 4" caliper size, and twelve inches above ground for larger sizes. Measure main body of all plant material of height and spread dimensions.

- do not measure from branch or root tip-to-tip.
- Owner's Authorized Representative shall inspect all plant material with requirements for genus, species, cultivar / variety size and quality.
 - Owner's Authorized Representative retains the right to further inspect all plant material upon arrival to the site and during installation for size and condition of root balls and root systems, limbs, branching habit, insects, injuries and latent defects.
 - Owner's Authorized Representative may reject unsatisfactory or defective material at any time during the process work. Remove rejected materials immediately from the site and replace with acceptable material at no additional cost to the Owner. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Preparation:
- Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape and future development.
 - Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.
- B. Delivery:
- Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored on site.
 - Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
 - Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
 - Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
 - Notify Owner's Authorized Representative of delivery schedule 72 hours in advance job site.
 - Remove rejected plant material immediately from job site.
 - To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Owner's Authorized Representative and his decision as to their acceptability shall be final.
- B. Quantities: The drawings and specifications are complimentary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae, and are to be of specimen quality.
- D. Approval: All plants which are found unsuitable in growth, or are in any unhealthy, badly shaped or undersized condition will be rejected by the Owner's Authorized Representative either before or after planting and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plant as specified at no additional cost to the Owner.

- specified at no additional cost to the Owner.
- Trees shall be healthy, full-branched, well-shaped, and shall meet the minimum trunk and diameter requirements of the plant schedule. Balls shall be firm, neat, slightly tapered and well wrapped in burlap. Any tree loose in the ball or with a broken root ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter, measured six (6") inches above ball. (Nomenclature confirms to the customary nursery usage. For clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.)
 - Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect prior to final acceptance, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

- A. Sandy Loam:
- Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
 - Physical properties as follows:
 - Clay – between 7-27 percent
 - Silt – between 15-25 percent
 - Sand – less than 52 percent
 - Organic matter shall be 3%-10% of total dry weight.
 - If requested, Landscape Contractor shall provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
- C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- F. Organic Fertilizer: Fertilaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- G. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulfur and 4% iron, plus micronutrients.
- H. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

- A. Steel Edging: 3/16" x 4" x 16" - dark green, DURAEDGE® steel landscape edging manufactured by The J.D. Russell Company under its trade name DURAEDGE Heavy Duty Steel.
- B. Staking Material for Shade Trees: refer to details.
- C. Gravel: Washed native pea gravel, graded 1 inch to 1-1/2 inch.
- D. Filter Fabric: 'Mirafi Mirascape' by Mirafi Construction Products available at Lone Star Products, Inc., (469) 523-0444 or approved equal.
- E. River Rock: 'Colorado' or native river rock, 2" - 4" dia.

- F. Decomposed Granite: Base material shall consist of a natural material mix of granite aggregate not to exceed 1/8" diameter in size and shall be composed of various stages of decomposed earth base.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- B. All planting areas shall be conditioned as follows:
- Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per Manufacturer's recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 - All planting areas shall receive a two (2") inch layer of specified mulch.
 - Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
- C. Grass Areas:
- Blocks of sod should be laid joint to joint (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.

3.2 INSTALLATION

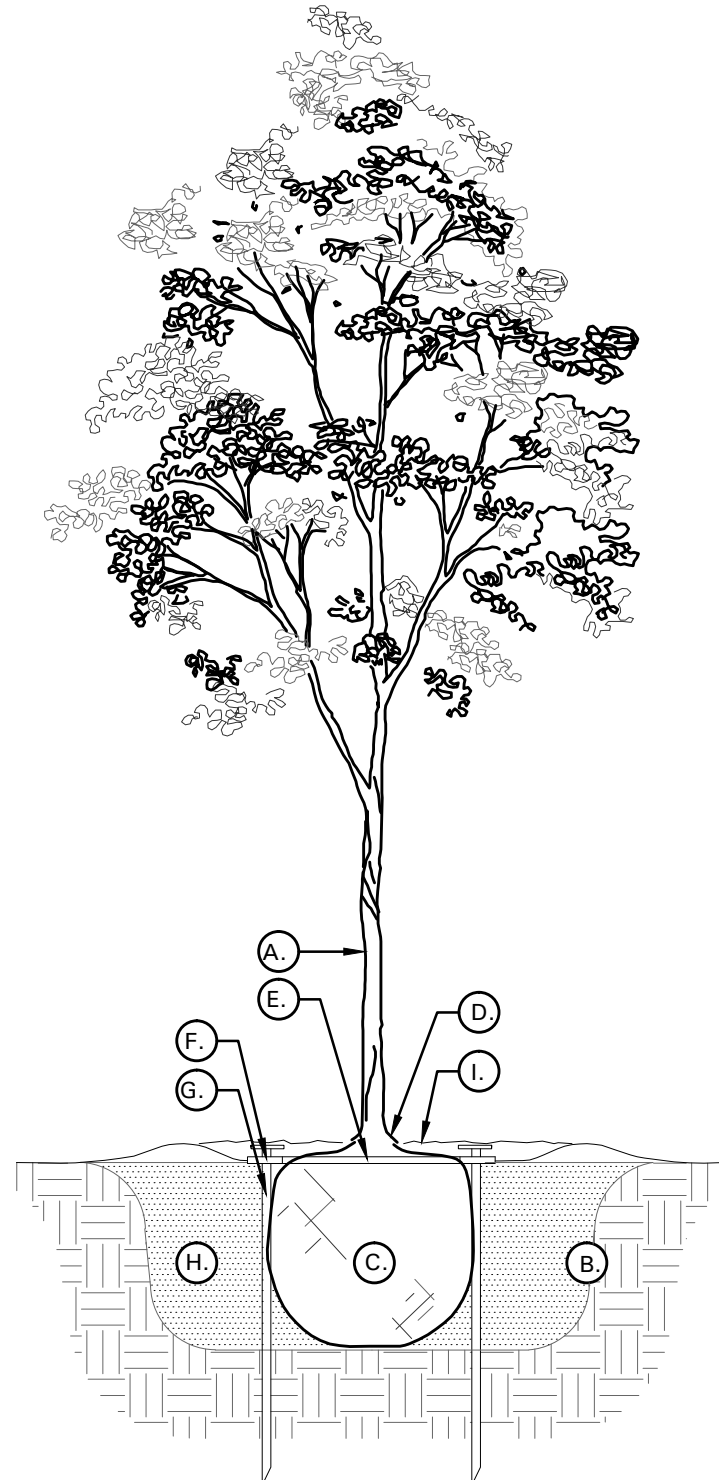
- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- B. Plant materials shall be delivered to the site only after the beds are prepared and areas are ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- C. Position the trees and shrubs in their intended location as per plan.
- D. Notify the Owner's Authorized Representative for inspection and approval of all positioning of plant materials.
- E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.
- F. Shrub and tree pits shall be no less than twenty-four (24") inches wider than the lateral dimension of the earth ball (6") inches deeper than it's vertical dimension. Remove and haul from site all rocks and stones over three-quarter (¾") inch in diameter. Plants should be thoroughly moist before removing containers.
- G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.
- H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per

- tree planting detail as approved by the Landscape Architect if the percolation test fails.
- Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top ½ of the ball, as well as all nylon, plastic string and wire. Container trees will usually be root bound, if so follow standard nursery practice of 'root scoring'.
 - Do not wrap trees.
 - Do not over prune.
 - Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.
 - All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.
 - Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3') feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
 - Trees and large shrubs shall be staked as site conditions require. Position stakes to secure trees against seasonal prevailing winds.
 - Pruning and Mulching: Pruning shall be directed by the Landscape Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class I pruning standards provided by the National Arborist Association.
- Dead wood, suckers, broken and badly bruised branches shall be removed. General tipping of the branches is not permitted. Do not cut terminal branches.
 - Pruning shall be done with clean, sharp tools.
 - Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material for trees shall be the diameter of the plant pit.
 - Steel Curbing Installation:
 - Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.
 - All steel curbing shall be free of kinks and abrupt bends.
 - Top of curbing shall be ½" maximum height above final finished grade.
 - Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
 - Do not install steel edging along sidewalks or curbs.
 - Cut steel edging at 45 degree angle where edging meets sidewalks or curbs.

3.3 CLEANUP AND ACCEPTANCE

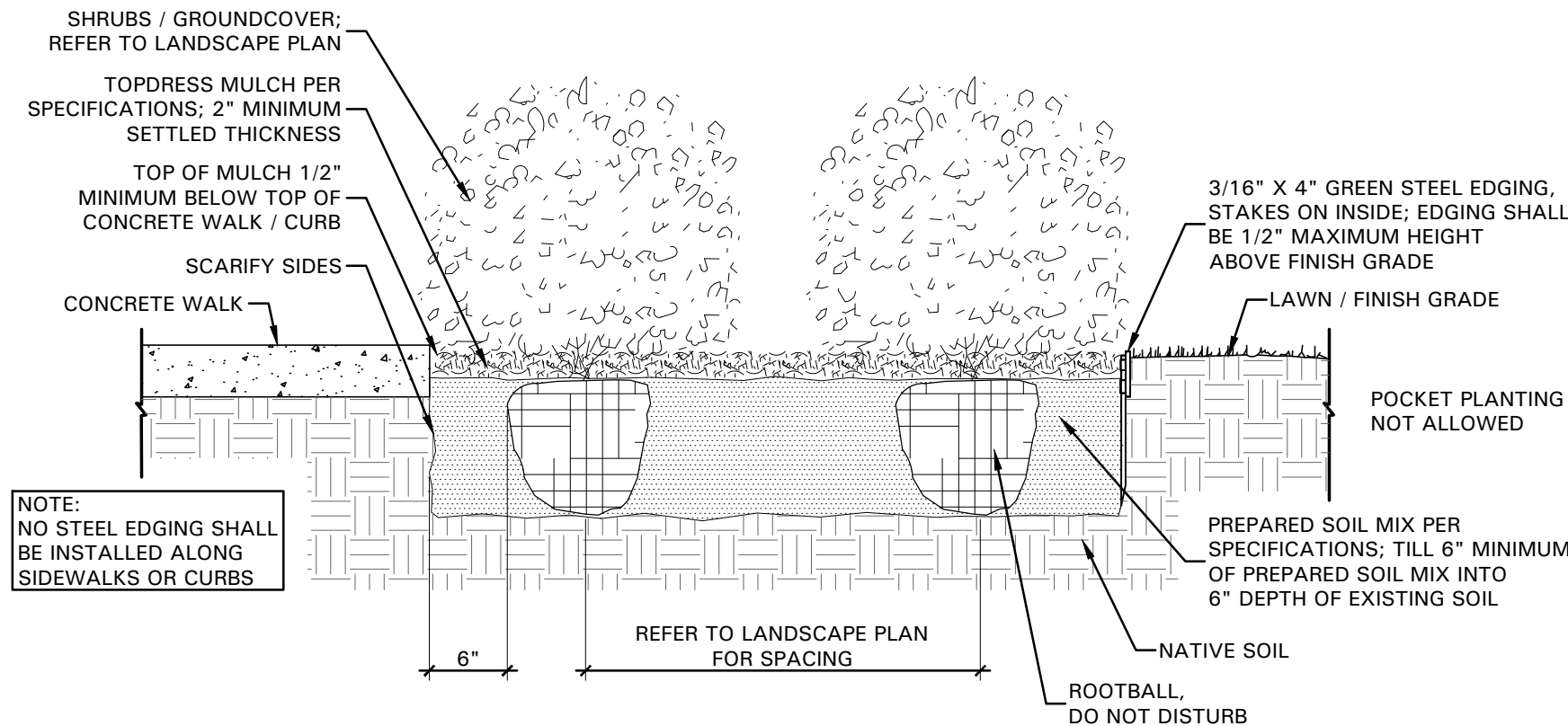
- A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized so that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing them at end of each work day.

END OF SECTION



TREE PLANTING DETAIL LEGEND AND NOTES

- A. TREE: TREES SHALL CONFORM WITH LATEST AMERICAN STANDARD FOR NURSERY STOCK. www.anla.org
- B. TREE PIT: WIDTH TO BE AT LEAST TWO (2) TIMES THE DIAMETER OF THE ROOT BALL. CENTER TREE IN HOLE & REST ROOT BALL ON UNDISTURBED NATIVE SOIL.
- C. ROOT BALL: REMOVE TOP ½ BURLAP AND ANY OTHER FOREIGN OBJECT; CONTAINER GROWN STOCK TO BE INSPECTED FOR GIRDLING ROOTS.
- D. ROOT FLARE: ENSURE THAT ROOT FLARE IS EXPOSED, FREE FROM MULCH, AND AT LEAST TWO INCHES ABOVE GRADE. TREES SHALL BE REJECTED WHEN GIRDLING ROOTS ARE PRESENT & ROOT FLARE IS NOT APPARENT.
- E. ROOTBALL ANCHOR RING: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. PLACE ROOTBALL ANCHOR RING ON BASE OF ROOTBALL, TRUNK SHOULD BE IN THE CENTER OF THE RING.
- F. 'U' BRACKET.
- G. NAIL STAKE: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. INSTALL NAIL STAKES WITH HAMMER OR Mallet FIRMLY INTO UNDISTURBED GROUND. DRIVE NAIL STAKES FLUSH WITH 'U' BRACKET ADJACENT TO ROOTBALL (DO NOT DISTURB ROOTBALL).
- H. BACKFILL: USE EXISTING NATIVE SOIL (no amendments) WATER THOROUGHLY TO ELIMINATE AIR POCKETS.
- I. MULCH: DOUBLE SHREDDED HARDWOOD MULCH 2 INCH SETTLED THICKNESS, WITH 2" HT. WATERING RING; ENSURE THAT ROOT FLARE IS EXPOSED. BELOW GROUND STAKE SHOULD NOT BE VISIBLE.
- J. TREE STAKES: TREE STAKE SOLUTIONS 'SAFETY STAKE' BELOW GROUND MODEL AVAILABLE FROM: Tree Stake Solutions ATTN: Jeff Tuley (903) 676-6143 jeff@treestakesolutions.com www.treestakesolutions.com
- K. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A COPY OF THE MANUFACTURER'S SPECIFICATIONS PRIOR TO INSTALLATION OF TREE STAKES. CONTRACTOR SHALL ADHERE TO MANUFACTURER'S INSTALLATION GUIDELINES, SPECIFICATIONS, AND OTHER REQUIREMENTS FOR TREE STAKE INSTALLATION.



02 SHRUB / GROUNDCOVER DETAIL

NOT TO SCALE



- 4245 North Central Expy
- Suite 501
- Dallas, Texas 75205
- 214.865.7192 office

TEXAS REGISTRATION #14199

CLAY MOORE

ENGINEERING

1900 CENTRAL DRIVE, SUITE #408
BEDFORD, TX 76021

PHONE: (817) 281-0092
WWW.CLAYMOORE.COM



MODERN ROUND
STATE HIGHWAY 121
THE COLONY, TEXAS

NO.	DATE	REVISION	BY
1	07/16/15	AL	AL
2	02/15/16	AL	AL

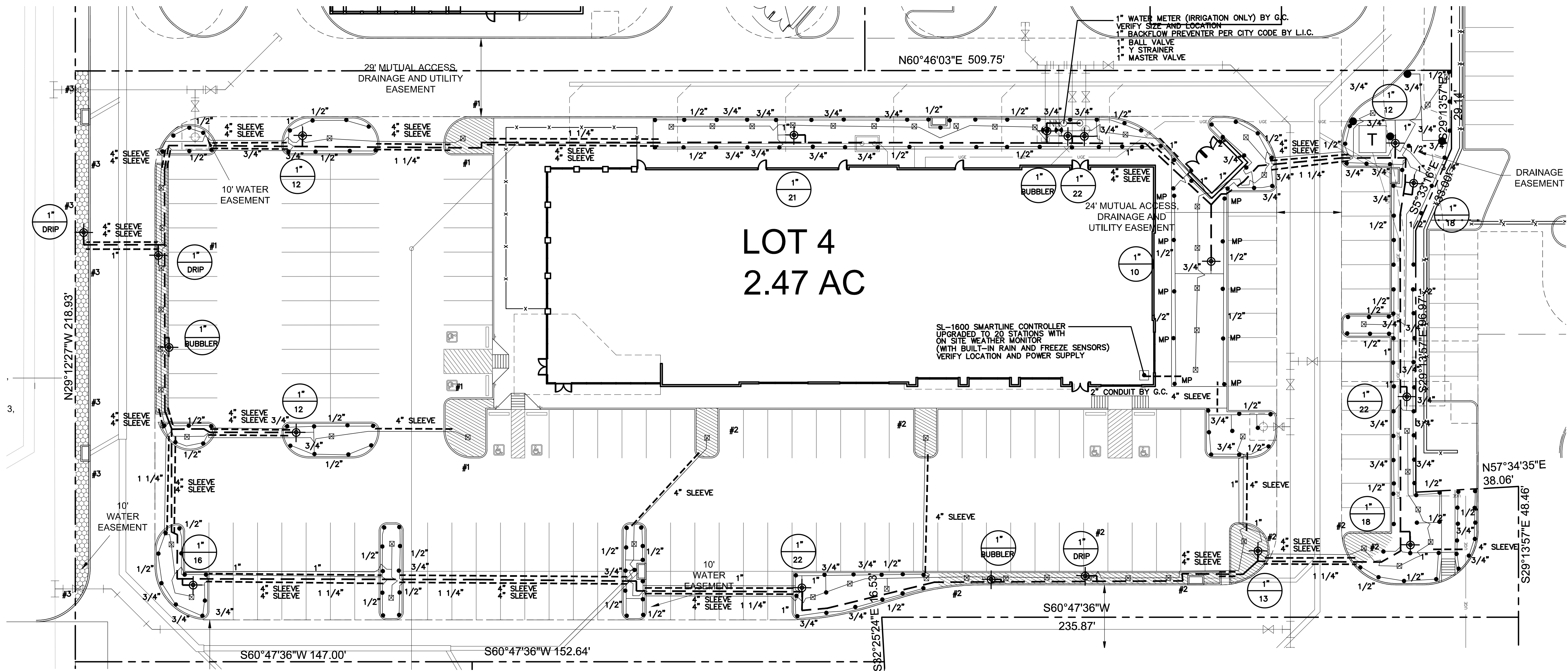
LANDSCAPE SPECIFICATIONS AND DETAILS

DESIGN: KAH
DRAWN: KAH
CHECKED: KAH
DATE: 07/15/2015

SHEET

L1.02

File No. 2015-



SLEEVING NOTES

1. SLEEVES SHALL BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR.
2. SLEEVE MATERIAL SHALL BE SCHEDULE 40 PIPE, SIZE AS INDICATED ON PLAN.
3. CONTRACTOR SHALL LAY SLEEVES AND CONDUITS AT TWENTY-FOUR (24") INCHES BELOW FINISH GRADE OF THE TOP OF PAVEMENT.
4. CONTRACTOR SHALL EXTEND SLEEVES ONE (1') FOOT BEYOND EDGE OF ALL PAVEMENT.
5. CONTRACTOR SHALL CAP PIPE ENDS USING PVC CAPS.
6. CONTRACTOR SHALL FURNISH OWNER AND IRRIGATION CONTRACTOR WITH AN 'AS-BUILT' DRAWING SHOWING ALL SLEEVE LOCATIONS.

IRRIGATION NOTES

1. THE IRRIGATION CONTRACTOR SHALL COORDINATE INSTALLATION OF THE IRRIGATION SYSTEM WITH THE LANDSCAPE CONTRACTOR SO THAT ALL PLANT MATERIAL WILL BE WATERED IN ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS.
2. ALL SPRINKLER EQUIPMENT NUMBERS REFERENCE THE WEATHERMATIC EQUIPMENT CATALOG UNLESS OTHERWISE INDICATED.
3. TEN DAYS PRIOR TO START OF CONSTRUCTION, IRRIGATION CONTRACTOR SHALL VERIFY STATIC WATER PRESSURE. IF STATIC PRESSURE IS LESS THAN 65' P.S.I., NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY. DO NOT WORK UNTIL NOTIFIED TO DO SO BY OWNER.

4. SLEEVES SHALL BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR. SLEEVE MATERIAL SHALL BE SCHEDULE 40, SIZE AS INDICATED ON PLAN. REFER TO SLEEVING NOTES.
5. ALL MAIN LINE AND LATERAL LINE PIPING IN PLANTING AND LAWN AREAS SHALL HAVE A MINIMUM OF 12 INCHES OF COVER. ALL PIPING UNDER PAVING SHALL HAVE A MINIMUM OF 18 INCHES OF COVER. CONTRACTOR TO VERIFY LOCAL FREEZE DEPTHS AND ADJUST DEPTH OF COVER ACCORDINGLY.
6. LAWN SPRAY HEADS SHALL BE WEATHERMATIC LX-4 INSTALLED PER DETAIL SHOWN.
7. ROTOR HEADS SHALL BE WEATHERMATIC TURBO INSTALLED PER DETAIL SHOWN. (WITH BUILT-IN CHECK VALVE)
8. NOZZLES SHALL BE WEATHERMATIC 5500 SERIES, UNLESS OTHERWISE NOTED. IRRIGATION CONTRACTOR SHALL SELECT THE PROPER ARC AND RADIUS FOR EACH NOZZLE TO ENSURE 100% AND PROPER COVERAGE OF ALL LAWN AREAS AND PLANT MATERIAL. NO WATER SHALL SPRAY ON BUILDING.
9. ALL NOZZLES IN PARKING LOT ISLANDS AND PLANTING BEDS SHALL BE LOW ANGLE NOZZLES TO MINIMIZE OVER SPRAY ON PAVEMENT SURFACES.
10. ELECTRIC CONTROL VALVES SHALL BE WEATHERMATIC 11000 SERIES INSTALLED PER DETAIL SHOWN. SIZE OF VALVES AS SHOWN ON PLAN. VALVES SHALL BE INSTALLED IN VALVE BOXES LARGE ENOUGH TO PERMIT MANUAL OPERATION, REMOVAL OF SOLENOID AND / OR VALVE COVER WITHOUT ANY EARTH EXCAVATION.
11. QUICK COUPLING VALVES SHALL BE WEATHERMATIC QV75 INSTALLED PER DETAIL SHOWN. SWING JOINTS SHALL BE CONSTRUCTED USING 3/4" SCHEDULE 80 ELBOWS. CONTRACTOR SHALL SUPPLY OWNER WITH

- THREE (3) CH75 COUPLERS AND THREE (3) #10HSL SWIVEL HOSE ELLS AS PART OF THIS CONTRACT.
12. ALL 24 VOLT VALVE WIRING TO BE UF 14 GAUGE SINGLE CONDUCTOR. ALL WIRE SPLICES ARE TO BE PERMANENT AND WATERPROOF.
 13. AUTOMATIC CONTROLLER SHALL BE INSTALLED AT LOCATION SHOWN. POWER (120V) SHALL BE LOCATED IN A JUNCTION BOX WITHIN FIVE (5') FEET OF CONTROLLER, LOCATION BY OTHER TRADES. RAIN AND FREEZE SENSORS SHALL BE INSTALLED WITH EACH CONTROLLER.
 14. THE DESIGN PRESSURE IS 65 PSI.
 15. ELECTRICAL SPLICES AT EACH VALVE AND CONTROLLER ONLY.
 16. IRRIGATION IN TEXAS IS REGULATED BY: THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) MC-178 / PO BOX 13087 AUSTIN, TEXAS 78711-3087
 17. TCEQ'S WEBSITE IS WWW.TCEQ.STATE.TX.US.

SMARTLINE CERTIFIED DESIGN

1. THIS IRRIGATION DESIGN FEATURES SMARTLINE CONTROLLER AND WEATHER MONITOR TECHNOLOGY AND UTILIZES 'ET' BASED WATER CONSERVATION AUTO ADJUSTING SCHEDULING.
2. THE IRRIGATION CONTRACTOR MUST PROGRAM THE CONTROLLER BY SELECTING THE PROPER SPRINKLER TYPE, PLANT TYPE, SOIL TYPE, SLOPE AND SUN / SHADE EXPOSURE FOR EACH ZONE.
3. THE IRRIGATION CONTRACTOR MUST CONTACT THE IRRIGATION DESIGNER FOR APPROVAL OF CONTROLLER SETTINGS.
4. THE IRRIGATION DESIGNER IS JOHN WINGFIELD (972) 238-1498.
5. ALL EQUIPMENT MUST BE INSTALLED AS SPECIFIED. NO EQUIPMENT SUBSTITUTIONS WILL BE PERMITTED.

IRRIGATION LEGEND

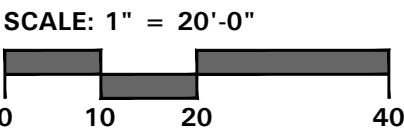
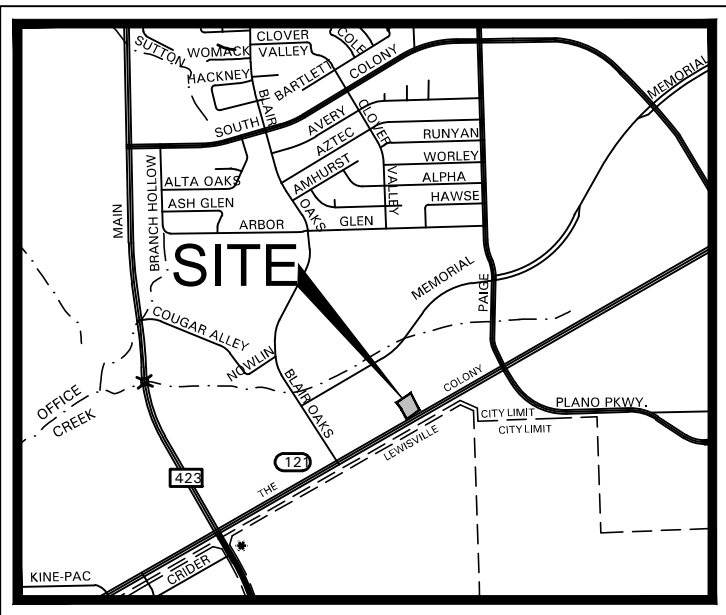
- WEATHERMATIC LX-4 POP-UP LAWN HEAD
- MP HUNTER MP ROTATOR NOZZLE
- WEATHERMATIC TURBO ROTARY FC
- WEATHERMATIC TURBO ROTARY PC
- ⊗ WEATHERMATIC 106.5 BUBBLER (2 PER TREE, TYP.)
- ⊕ WEATHERMATIC 11000 SERIES ELECTRIC VALVE
- ▲ WEATHERMATIC QV75 QUICK COUPLER
- CONTROLLER, SIZE AS INDICATED
- W— WATER METER, SIZE AS INDICATED WITH D.C.A., SIZE AS INDICATED
- PVC SCHEDULE 40 SLEEVING
- PVC CLASS 200 MAINLINE
- PVC CLASS 200 LATERAL LINE
- XXX VALVE SIZE
- XXX GPM

- NETAFIM TECHLINE#TLDL6-1210 (18" LATERAL SPACING, 12" EMITTER SPACING) PVC LATERAL PIPING SIZED AS REQUIRED INSTALL ALL EQUIPMENT ACCORDING TO MANUFACTURERS SPECIFICATIONS
- NETAFIM TECHLINE#TLDL6-1210 (18" LATERAL SPACING, 12" EMITTER SPACING) PVC LATERAL PIPING SIZED AS REQUIRED INSTALL ALL EQUIPMENT ACCORDING TO MANUFACTURERS SPECIFICATIONS
- NETAFIM DISC FILTER #DF100-080 NETAFIM PRESSURE REGULATOR #PRV15025 INSTALL ALL EQUIPMENT ACCORDING TO MANUFACTURERS SPECIFICATIONS

BUBBLER PIPING CHART

NUMBER OF BUBBLERS	SIZE OF PIPE
1 - 5	1/2"
6 - 10	3/4"
11 - 20	1"
21 - 30	1 1/2"
31 - 40	1 1/2"

VICINITY MAP
NOT TO SCALE



- 4245 North Central Expy
- Suite 501
- Dallas, Texas 75205
- 214.865.7192 office

NO.	DATE	REVISION	BY
1	7.16.15	AL	AL
2	7.16.15	CITY COMMENTS	AL
3	7.16.15	CITY COMMENTS	AL

IRRIGATION PLAN

SECTION 32 8423 - UNDERGROUND IRRIGATION SLEEVES AND UTILITY CONDUITS

PART 1 - GENERAL

1.1 DESCRIPTION

- A. Provide underground irrigation sleeves as indicated on the drawings.

1.2 RELATED WORK SPECIFIED ELSEWHERE

- A. Section 32 8424 - Irrigation System

1.3 REFERENCED STANDARDS

- A. American Society for Testing and Materials:

- ASTM - D2441 Poly (Vinyl Chloride) (PVC) Plastic Pipe (SD R-PR)
- ASTM - D2466 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings, Socket Type, Schedule 40.
- ASTM - D2564 Solvent Cements for Poly Vinyl Chloride Plastic Pipe and Fittings.

PART 2 - MATERIALS

2.1 DEFINITIONS

- A. Sleeve - A pipe within which another pipe is placed for carrying water or other utilities to be installed.
- B. Wire Sleeves - A pipe used to carry low voltage irrigation wires for operation of the electric solenoid valves.

2.2 GENERAL

- A. Polyvinyl Chloride Pipe (PVC) - Manufactured in accordance with standards noted herein:

- Marking and Identification - Permanently marked with SDR number, ASTM standard number, and the NSF (National Sanitation Foundation) seal.
- Solvent - As recommended by manufacturer to make solvent-welded joints. Thoroughly clean pipe and fittings before applying solvent.

PART 3 - EXECUTION

3.1 INSTALLATION

- A. Coverage - Provide twenty-four inches (24") minimum cover over top of sleeve from finish grade.
- B. Sleeve Extensions - Extend sleeves one foot (1') past edge of pavement or concrete walls. Install 90 degree elbow on each sleeve end and add additional length of same size pipe to extend above finish grade by twelve inches (12"). Cap pipe ends using duct tape.

3.2 BACKFILL

- A. Compaction - Place backfill over sleeves in six (6") inch lifts. Tamp firmly into place taking care not to damage sleeve. Complete backfill and compaction to prevent any future settlement. Compact to 85% Standard Proctor.
- B. Damage - Repair any damage resulting from improper compaction including pavement repair and replacement.

END OF SECTION

SECTION 32 8424 - IRRIGATION SYSTEM

PART 1 - GENERAL

1.1 SCOPE

- A. Provide complete sprinkler installation as detailed and specified herein, includes furnishing all labor, material, tools, equipment, and related items for the complete and proper

installation of the irrigation system as indicated by the Drawings. All costs associated with this installation, including fees for testing and inspections of the system components are the responsibility of the installer of this irrigation system.

- B. Work includes but is not limited to:

- Trenching and backfill.
- Installation of automatic controlled system.
- Upon completion of installation, supply as-built drawings showing details of construction including location of mainline piping, manual and automatic valves, electrical supply to valves, and specifically the exact location of automatic valves.

- C. All sleeves as shown on plans shall be furnished by General Contractor. Meter and power source shall be provided by General Contractor.

1.2 RELATED WORK SPECIFIED ELSEWHERE

- A. Refer to Irrigation Plans for controller, head, and valve locations.
- B. Section 32 8423 - Underground Irrigation Sleeves and Utility Conduits
- C. Section 32 9300 - Landscape
- D. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements.

1.3 APPLICABLE STANDARDS

- A. America Standard for Testing and Materials (ASTM) - Latest edition.

- D2241 Poly (Vinyl Chloride) (PVC) Plastic Pipe (SDR-PR)
- D2464 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings, Thread, Schedule 80
- D2465 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings, Schedule 40
- D2467 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings, Socket Type, Schedule 80
- D2564 Solvent Cements for Poly (Vinyl Chloride) (PVC) Plastic Pipe and Fittings
- D2287 Flexible Poly Vinyl Chloride (PVC) Plastic Pipe
- F656 Poly Vinyl Chloride (PVC) Solvent Weld Primer
- D2855 Making Solvent - Cemented Joints with Poly (Vinyl Chloride) (PVC) Pipe and Fittings

1.4 MAINTENANCE AND GUARANTEE

- A. The Contractor shall guarantee materials and workmanship for one (1) calendar year after final acceptance by Owner.
- B. Guarantee is limited to repair and replacement of defective materials or workmanship, including repair of backfill settlement.
- C. Provide maintenance of system, including raising and lowering of heads to compensate for lawn growth, cleaning and adjustment of heads, and raising and lowering of shrub heads to compensate for shrub growth for one (1) year after completion of installation.

1.5 SUBMITTALS

- A. Procedure: Comply with Division I requirements.
- B. Product Data: The Contractor shall submit five (5) copies of equipment manufacturer's 'cut sheets' and shop drawings for approval by Owner Authorized Representative prior to installation, including, but not limited to the following: sprinkler head, pipe, controller, valves, backflow prevention devices, valve boxes, wire, conduit, fittings, and all other types of fixtures proposed to be installed on the job. The submittal shall include the manufacturer's name, model number, equipment capacity, and manufacturer's installation recommendations, if applicable, for each proposed item.

- C. No work covered under this section may begin until the

Contractor has submitted the required information. No partial submittal shall be accepted and submittals shall be neatly bound into a brochure and logically organized. After the submittal has been approved, substitutions will not be allowed, except by written consent by the Owner Authorized Representative.

- D. Shop drawings include dimensions, elevations, construction details, arrangements, and capacity equipment, as well as manufacturer's installation recommendations.

- E. Operating and Maintenance Manuals:

- Provide three (3) individually bound manuals detailing operating and maintenance requirements for the irrigation system.
- Manuals shall be delivered to the Owner Authorized Representative no later than ten (10) days prior to completion of the irrigation system.
- Provide descriptions of all installed materials and systems in sufficient detail to permit maintenance personnel to understand, operate, and maintain the equipment.
- Provide the following in each manual:
 - Index sheet with Contractor's name, address, telephone number, and contact name.
 - Duration of guarantee period. Include warranties and guarantees extended to the Owner by the manufacturer of all equipment.
 - Equipment list providing the following for each item:
 - Manufacturer's name
 - Make and model number
 - Name and address of local part's representative
 - Spare parts list in detail
 - Details operating and maintenance instructions for major equipment.

- F. Project Record Documents:

- Comply with Division I requirements.
- Locate by written dimension, routing of mainline piping, remote control valves, and quick coupling valves. Locate mainlines by single dimensions from permanent site features provided to run parallel to these elements. Locate valves, intermediate electrical connections, and quick couplers by two dimensions from a permanent site feature at approximately 70 degrees to each other.
- When dimensioning is complete, transpose work to bond paper.
- Submit three (3) copies of the completed as-built drawings, along with a CD with PDF files of the same, to the Owner Authorized Representative prior to final acceptance of the work. Mark drawings "Record Prints Showing Significant Changes". Date and sign drawings.

- G. Quick Coupler Keys: Provide three (3) coupler keys with boiler drains attached using brass reducer.

- H. Controller Keys: Provide three (3) sets of keys to controller enclosure(s).

- I. Use of materials differing in quality, size, or performance from those specified shall only be allowed upon written approval of the Landscape Architect. The decision shall be based on comparative ability of material or article to perform fully all purposes of mechanics and general design considered to be possessed by item specified.

- J. Bidders desiring to make a substitution for specified sprinklers shall submit manufacturer's catalog sheet showing full specification of each type sprinkler proposed as a substitute, including discharge in GPM maximum allowable operating pressure at sprinkler.

- K. Approval of substitute sprinkler shall not relieve Irrigation Contractor of his responsibility to demonstrate that final installed sprinkler system shall operate according to intent of originally designed and specified system.

- L. It is the responsibility of the Irrigation Contractor to demonstrate that final installed sprinkler system shall operate according to intent of originally designed and specified system. If Irrigation Contractor notes any problems in head spacing or potential coverage, it is his responsibility to notify the Landscape Architect in writing, before proceeding with

work. Irrigation Contractor guarantees 100% coverage of all areas to be irrigated.

1.6 TESTING

- A. Perform testing required with other trades, including earthwork, paving, plumbing, electrical, etc., to avoid unnecessary cutting, patching, and boring.

- B. Water Pressure: This irrigation system has been designed to operate with a minimum static water pressure indicated on Drawings. The Contractor shall take a pressure reading at each water meter prior to beginning construction. Confirm findings to Owner Authorized Representative in writing. If static pressure varies from pressure stated on drawings, do not start work until notified to do so by Owner Authorized Representative.

1.7 COORDINATION

- A. Coordinate installation with other trades, including earthwork, paving, and plumbing to avoid unnecessary cutting, patching and boring.
- B. Coordinate to ensure that electrical power source is in place.
- C. Coordinate system installation with work specified in other sections and coordinate with Landscape Contractor to ensure plant material is uniformly watered in accordance with intent shown on drawings.

PART 2 - PRODUCTS

2.1 GENERAL

- A. Mainline: Mainlines are the piping from water source to operating valves. This portion of piping is subject to surges, being a closed portion of sprinkler system. Hydrant lines are considered a part of sprinkler main.

- B. Lateral Piping: Lateral piping is that portion of piping from operating valve to sprinkler heads. This portion of piping is not subject to surges, being an "open end" portion of sprinkler system.

2.2 POLY VINYL CHLORIDE PIPE (PVC PIPE)

- A. PVC pipe shall be manufactured in accordance with commercial standards noted herein.

- B. Marking and Identification: PVC pipe shall be continuously and permanently marked with the following information: manufacturer's name, pipe size, type of pipe, and material, SDR number, product standard number, and the NSF (National Sanitation Foundation) seal.

- C. PVC Pipe Fittings: Shall be of the same material as the PVC pipe specified and shall be compatible with PVC pipe furnished.

2.3 COPPER TUBING

- A. Hard, straight lengths of domestic manufacture only. Do not use copper tube of foreign extrusion or any so-called irrigation tubing (thin wall).

2.4 COPPER TUBE FITTINGS

- A. Cast brass or wrought copper, sweat - solder type.

2.5 WIRE

- A. Type UF with 4/64" thick waterproof insulation which is Underwriter's Laboratory approved for direct underground burial when used in a National Electric Code Class II Circuit (30 volts AC or less).

- B. Wire Connectors: Waterproof splice kit connectors. Type DBY by 3M.

2.6 SCHEDULE 80 PVC NIPPLES

- A. Composed of Standard Schedule 40 PVC Fittings and PVC

meeting noted standards. No clamps or wires may be used. Nipples for heads and shrub risers to be nominal one-half inch (1/2") diameter by eight (8") inches long, where applicable.

- B. Polyethylene nipples six (6") inches long shall be used on all pop-up spray heads.

2.7 MATERIALS - SEE IRRIGATION PLAN

- A. Sprinkler heads in lawn area as specified on plan.

- B. PVC Pipe: Class 200, SDR 21

- C. Copper Tubing (City Connection): Type "M"

- D. 24V Wire: Size 14, Type UF

- E. Electric valves: Shall be all plastic construction as indicated on plans.

- F. Backflow Prevention Device: Refer to drawing requirements and flow valve. Coordinate exact location with General Contractor.

PART 3 - EXECUTION

3.1 INSTALLATION - GENERAL

- A. Staking: Before installation is started, place a stake where each sprinkler is to be located, in accordance with drawing. Staking shall be approved by Owner Authorized Representative before proceeding with work.

- B. Excavations: Excavations are unclassified and include earth, loose rock, rock or any combination thereof, in wet or dry state. Backfill trenches with material removed, provided that the earth is suitable for compaction and contains no lumps, clods rock, debris, etc. Special backfill specifications, if furnished take preference over this general specification.

- C. Backfill: Flood or hand-tamp to prevent after settling. Hand rake trenches and adjoining area to leave grade in as good or better condition than before installation.

- D. Piping Layout: Piping layout is diagrammatic. Route piping around trees and shrubs in such a manner as to avoid damage to plantings. Do not dig within ball of newly planted trees or shrubs. In areas where existing trees are present, trenches shall be adjusted on-site to provide a minimum clearance of four (4) feet between the drip line of any tree or trench. The Contractor shall notify the Owner Authorized Representative in writing of a planned change in trench routing from that shown on the drawings.

3.2 PIPE INSTALLATION

- A. Sprinkler Mains: Install a four (4") inch wide minimum trench with a minimum of eighteen (18") inches of cover.

- B. Lateral Piping: Install a four (4") inch wide minimum trench deep enough to allow for installation of sprinkler heads and valves, but in no case, with less than twelve (12") of cover.

- C. Trenching: Remove lumber, rubbish, and large rocks from trenches. Provide firm, uniform bearing for entire length of each pipe line to prevent uneven settlement. Wedging or blocking of pipe shall not be permitted. Remove foreign matter or dirt from inside of pipe before welding, and keep piping clean by approved means during and after laying of pipe.

3.3 PVC PIPE AND FITTING ASSEMBLY

- A. Solvent: Use only solvent recommended by manufacturer to make solvent-welded joints. Thoroughly clean pipe and fittings of dirt, dust and moisture before applying solvent.

- B. PVC to metal connection: Work metal connections first. Use a non-hardening pipe dope such as Permatex No. 2 on threaded PVC adapters into which pipe may be welded.

3.4 COPPER TUBING AND FITTING ASSEMBLY

- A. Clean pipe and fitting thoroughly and lightly sand pipe connections to remove residue from pipe. Attach fittings to tubing in an approved manner using 50-50 soft solid core solder.

3.5 POP-UP SPRAY HEADS

- A. Supply pop-up spray heads in accordance with materials list and plan. Attach sprinkler to lateral piping with a semi-flexible polyethylene nipple not less than three (3") inches or more than six (6") inches long.

3.6 VALVES

- A. Supply valves in accordance with materials list and sized according to drawings. Install valves in a level position in accordance with manufacturer's specifications. See plan for typical installation of electric valve and valve box.

3.7 WIRING

- A. Supply wire from the automatic sprinkler controls to the valves. No conduit will be required for UF wire unless otherwise noted on the plan. Wire shall be tucked under the piping.

- B. A separate wire is required from the control to each electric valve. A common neutral wire is also required from each control to each of the valves served by each particular control.

- C. Bundle multiple wires and tape them together at ten (10') foot intervals. Install ten (10') inch expansion coils at not more than one hundred (100') foot intervals. Make splices waterproof.

3.8 AUTOMATIC SPRINKLER CONTROLS

- A. Supply in accordance with Irrigation Plan. Install according to manufacturer's recommendations.

3.9 TESTING

- A. Sprinkler Mains: Test sprinkler main only for a period of twelve (12) to fourteen (14) hours under normal pressure. If leaks occur, replace joint or joints and repeat test.

- B. Complete tests prior to backfilling. Sufficient backfill material may be placed in trenches between fittings to ensure stability of line under pressure. In each case, leave fittings and couplings open to visual inspection for full period of test.

3.10 FINAL ADJUSTMENT

- A. After installation has been completed, make final adjustment of sprinkler system in preparation for Owner Authorized Representative's final inspection.

- B. Completely flush system to remove debris from lines by removing nozzle from heads on end of lines and turning on system.

- C. Check sprinklers for proper operation and proper alignment for direction of throw.

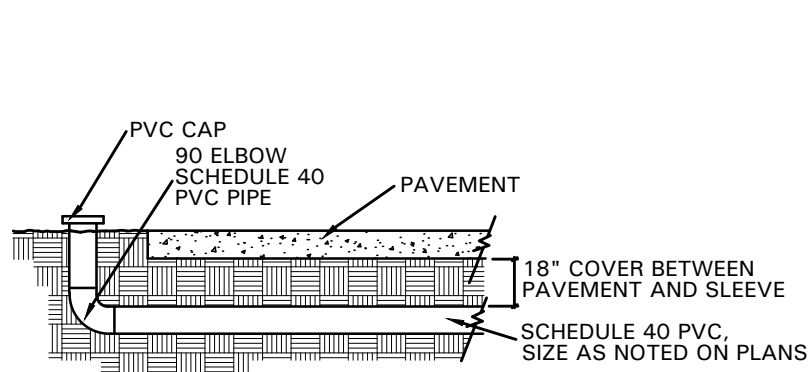
- D. Check each section of spray heads for operating pressure and balance to other sections by use of flow adjustment on top of each valve.

- E. Check nozzling for proper coverage. Prevailing wind conditions may indicate that arch of angle of spray should be other than shown on drawings. In this case, change nozzles to provide correct coverage and furnish data to Owner Authorized Representative with each change.

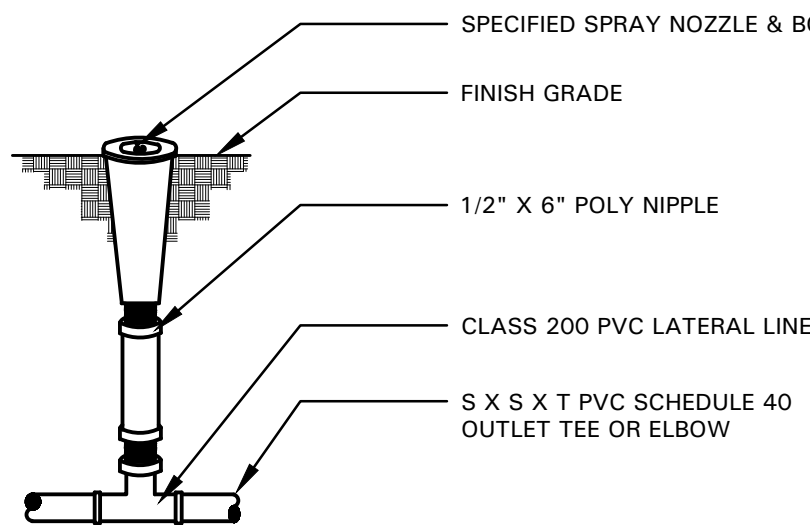
3.11 SYSTEM DEMONSTRATION

- A. Instruct Owner's personnel in operation and maintenance of system including adjusting of sprinkler heads. Use operation and maintenance manual for basis of demonstration.

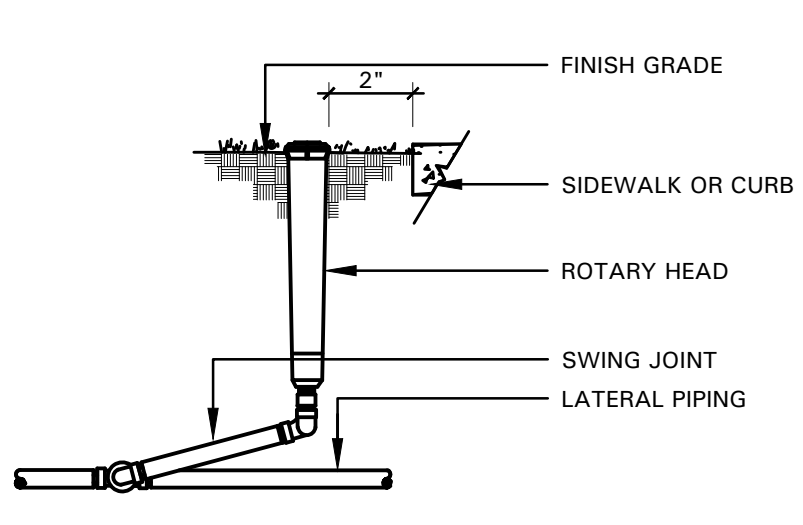
END OF SECTION



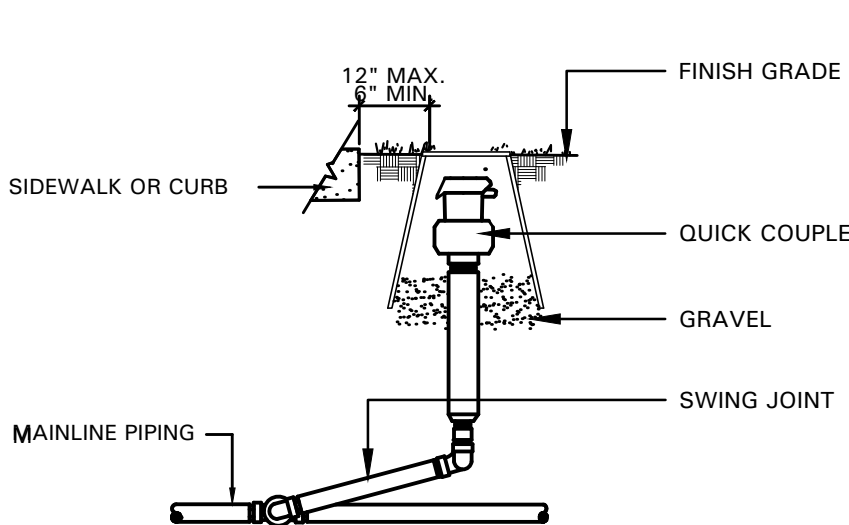
01 SLEEVE DETAIL
NOT TO SCALE



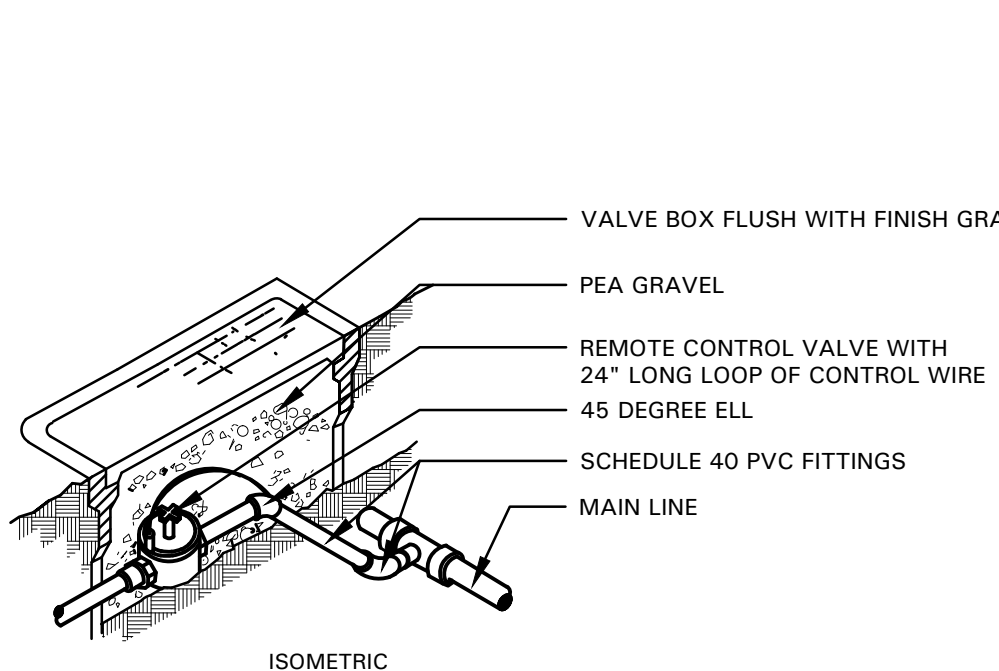
02 POP-UP LAWN SPRAY ASSEMBLY
NOT TO SCALE



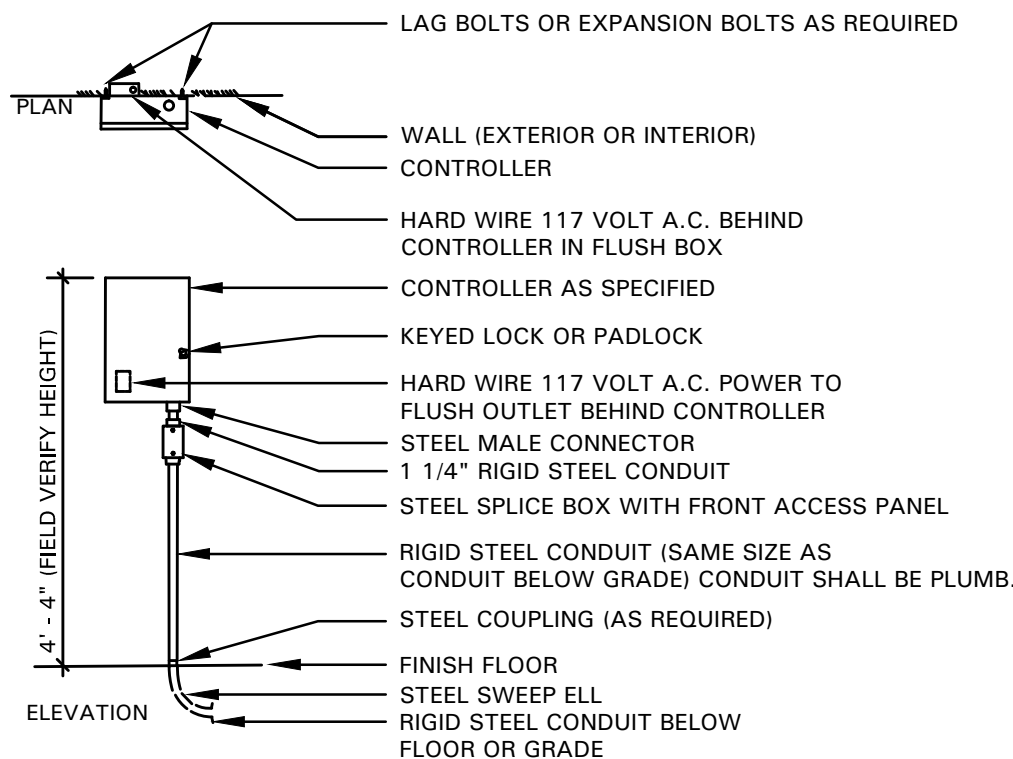
03 ROTARY HEAD
NOT TO SCALE



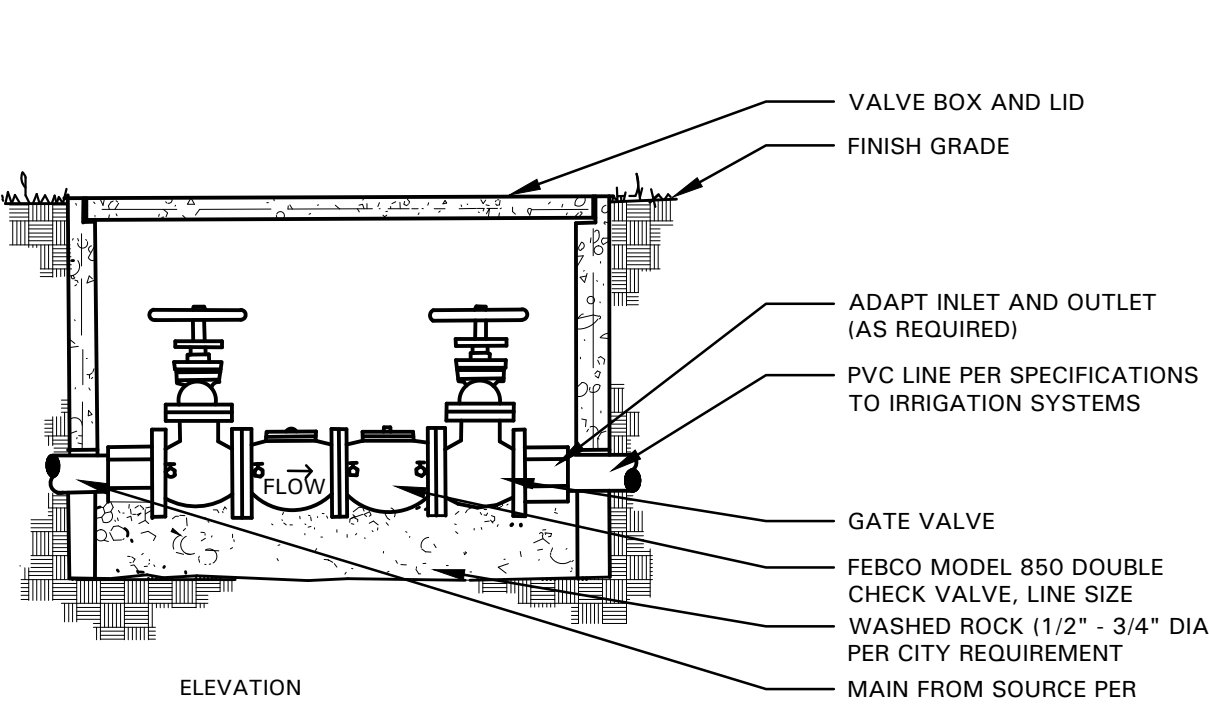
04 QUICK COUPLER
NOT TO SCALE



05 REMOTE CONTROL VALVE
NOT TO SCALE



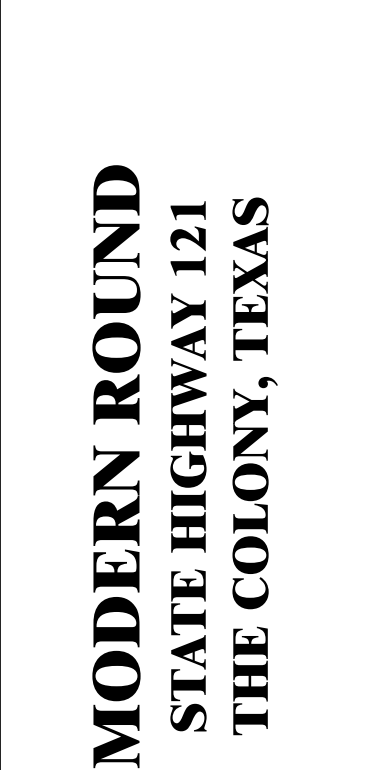
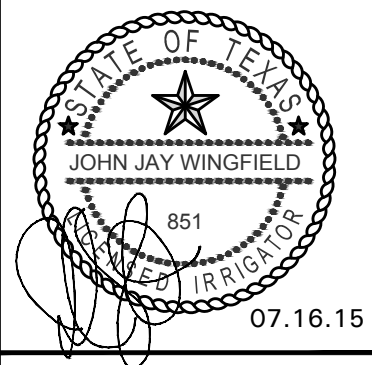
06 WALL MOUNTED CONTROLLER
NOT TO SCALE



07 BACKFLOW PREVENTER
NOT TO SCALE



- 4245 North Central Expy
- Suite 501
- Dallas, Texas 75205
- 214.865.7192 office



NO.	DATE	REVISION	BY
1	07.16.15	CITY COMMENTS	AL
2	07.16.15	CITY COMMENTS	AL

DESIGN:	JWW
DRAWN:	JWW
CHECKED:	JWW
DATE:	07/15/2015
SHEET	
L2.02	
File No. 2015-	

SW7044 - AMAZING GRAY

SHERWIN WILLIAMS EXTERIOR PAINT
THREE-STEP STUCCO

TOTAL: 17%
FRONT: 17%
LEFT: 9%
REAR: 20%
RIGHT: 20%

SW7019 - GAUNTLET GRAY

SHERWIN WILLIAMS EXTERIOR PAINT
THREE-STEP STUCCO

TOTAL: 24%
FRONT: 16%
LEFT: 20%
REAR: 35%
RIGHT: 26%

STOREFRONT

TOTAL: 22%
FRONT: 30%
LEFT: 42%
REAR: 8%
RIGHT: 8%

CORONADO STONE

OLD WORLD LEDGESTONE
COLOR: ANTIQUE CREAM

TOTAL: 27%
FRONT: 22%
LEFT: 9%
REAR: 34%
RIGHT: 41%

WOOD LOOK TILE

IRIS CERAMIC TILE-WOOD
COLOR: OAK

TOTAL: 7%
FRONT: 11%
LEFT: 11%
REAR: 3%
RIGHT: --

ANODIZED ALUMINUM

PANELS AND ACCENTS

TOTAL: 3%
FRONT: 4%
LEFT: 9%
REAR: --
RIGHT: 3%



1 - ELEVATION SCALE 1/8" = 1'-0"



2 - ELEVATION SCALE 1/8" = 1'-0"



3 - ELEVATION SCALE 1/8" = 1'-0"



4 - ELEVATION SCALE 1/8" = 1'-0"



VICTORY GROUP
ARCHITECTS

434 MAIN STREET, SUITE 100
FORT WORTH, TEXAS 76102
817.350.0433 or 817.705.5357

VICTORY GROUP

PROJECT NAME	VICTORY @ THE COLONY
DESCRIPTION	10,000 SF SINGLE TENANT SHELTER BUILDING
JOB NAME	VICTORY
DATE	05/20/2015
STATE	TEXAS
CITY	STATE HIGHWAY 121, THE COLONY, TX 75056

A2.1